



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

PLANNING COMMITTEE - NOTICE OF PUBLIC MEETING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

Take notice that the Council for the Corporation of the Township of Muskoka Lakes will be considering an application for a proposed Amendment to Zoning By-law 2014-14 pursuant to Section 34 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

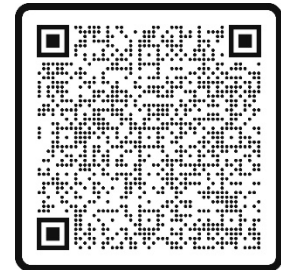
File No.: ZBA-33/24

Roll No.: 4-13-030

By-law No.: To Be Assigned

Owner:	Leslie Ann Wilson, Suite 703, 1 Edgewater Drive, Toronto, ON., M5A 0L1		
Address & Description:	1019 Old Bridge Rd, Part of Lot 19, Concession 9, Part 2 on Plan BR1722, Medora		
Zoning:	Waterfront Residential - WR5	Lake Category: Category 1 – Lake Rosseau	Schedule: 21
Meeting Date: Thursday, September 12th, 2024 at 9:00 a.m.			

Take further notice that this public meeting will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Public Meeting for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

A Zoning By-law Amendment Application has been submitted to permit the construction of a two-story boathouse on a lot with less than 300 feet of lot frontage.

Exemption	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Relief
A	4.1.7 & 4.1.7.10	Minimum Lot Frontage Requirement for a Two Storey Boathouse	300 ft.	297 ft.	3 ft.

A key map of the subject property, the applicant's zoning sketch, any drawings, and a draft By-law are included in this notice.



KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Public Meeting will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Planning Committee at the meeting by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled meeting.

Watch the Meeting Online



You can access the meeting from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the meeting recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN MEETING: If you do not participate in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF PASSING & APPEALS: If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect to this application, you must make a written request to planning@muskokalakes.ca.

Furthermore, if a person or public body would otherwise have an ability to appeal the decision of the Council of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

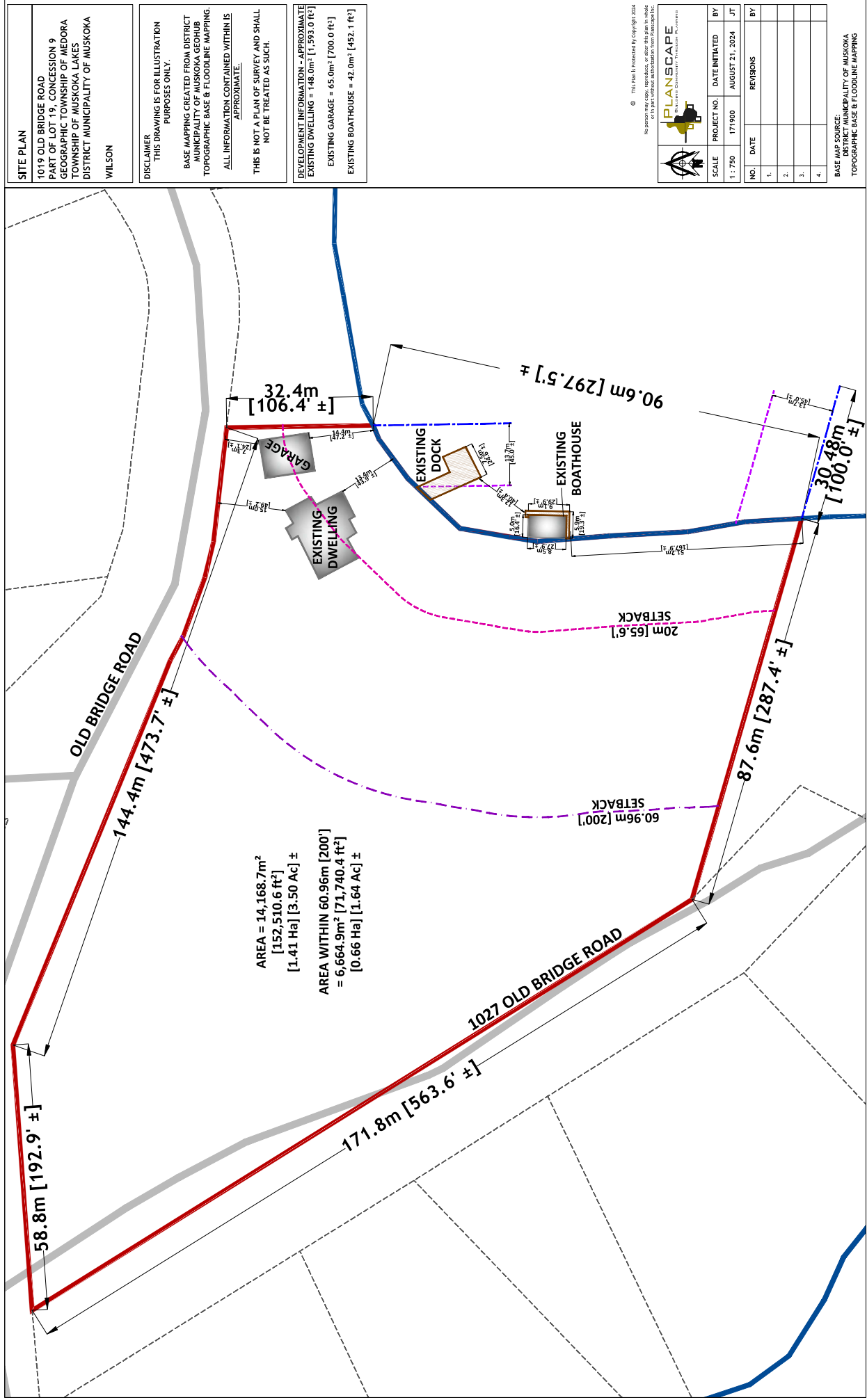
Notwithstanding the above, subsection 34(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

Dated at the Township of Muskoka Lakes this 22nd day of August, 2024.

Crystal Paroschy, Clerk
Corporation of the Township of Muskoka Lakes



ZONING SKETCH

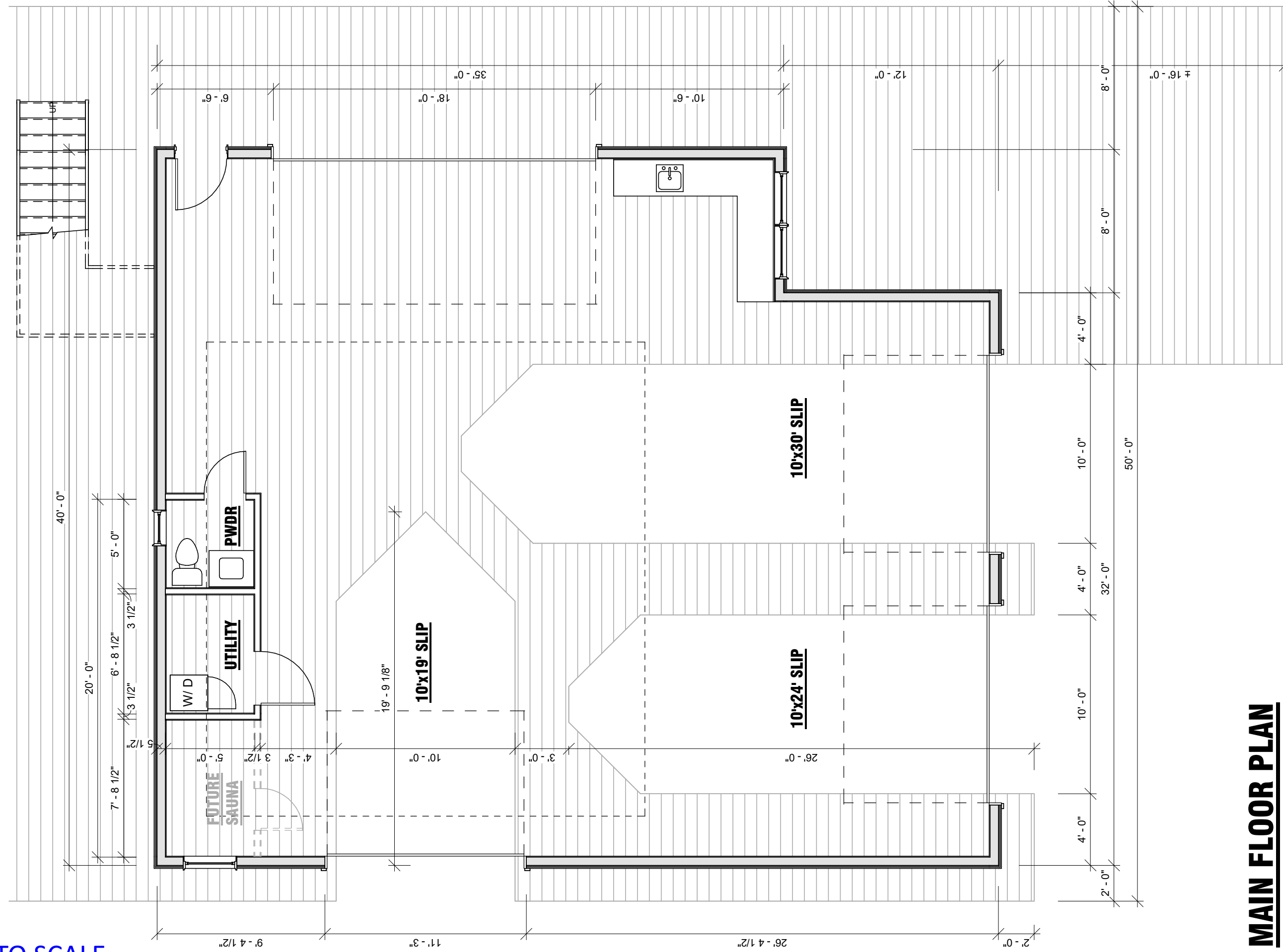


FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

BOATHOUSE FLOOR PLAN - FIRST STOREY

FOR INFORMATIONAL PURPOSES ONLY



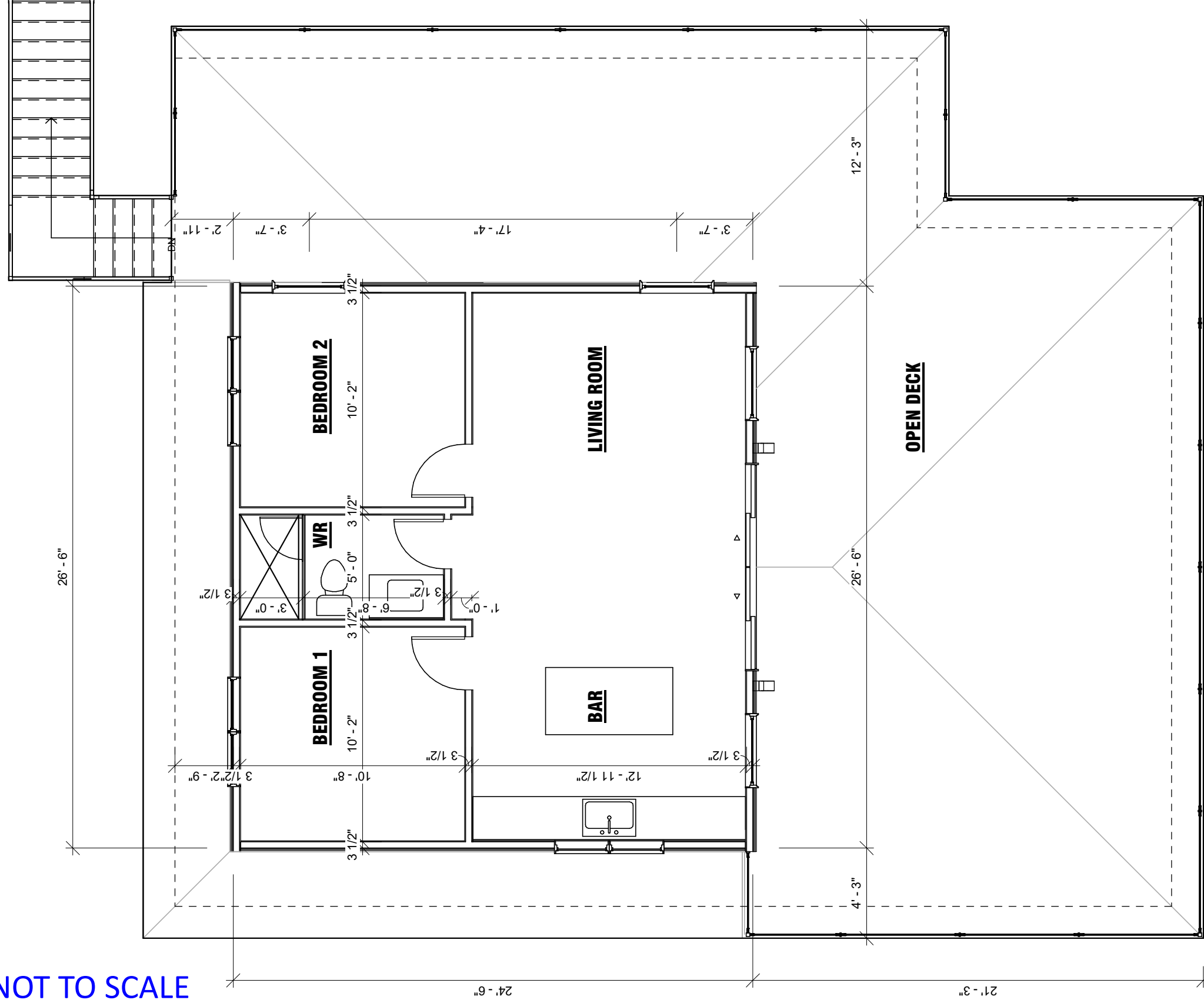
NOT TO SCALE

MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"

BOATHOUSE FLOOR PLAN - SECOND STOREY

FOR INFORMATIONAL PURPOSES ONLY



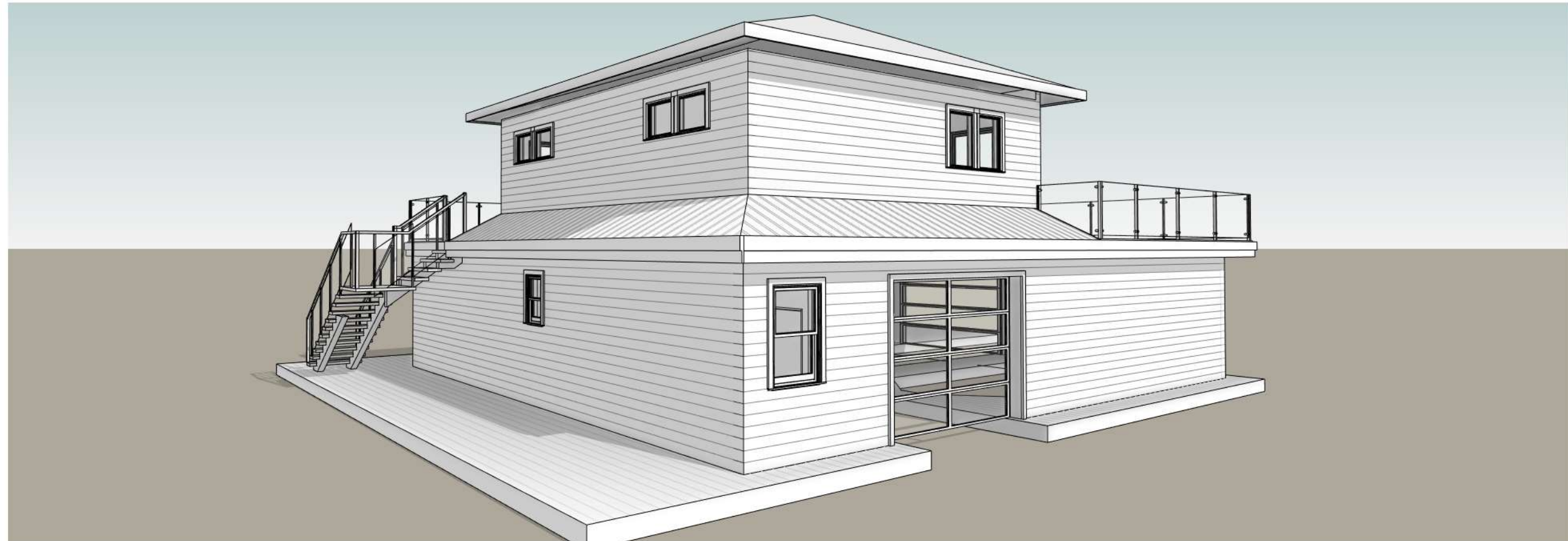
NOT TO SCALE

UPPER FLOOR PLAN

SCALE: 3/16" = 1'-0"



NOT TO SCALE



NOT TO SCALE

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

BY-LAW NUMBER 2024-XXX

**Being a By-law to amend Comprehensive Zoning By-law
2014-14, as amended, in the Township of Muskoka Lakes**

WHEREAS the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

AND WHEREAS By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

AND WHEREAS the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

NOW THEREFORE the Council of the Corporation of the Township of Muskoka Lakes enacts as follows:

1. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:
 - 87-XXXX i) The lands affected by this amendment are described as Part of Lot 19, Concession 9, (in the former Township of Medora), now in the Township of Muskoka Lakes, more particularly described as Part 2 on Plan BR-1722, as shown hatched on Schedule I to By-law 2024-XXX.
 - ii) Despite the provisions of Sections 4.1.7 and 4.1.7.10 of Zoning By-law 2014-14, as amended, for those lands described above, a two-storey boathouse shall be permitted on a lot with less than 300 feet of lot frontage in accordance with the provisions for a two-storey boathouse on a lot with 300 feet of frontage.
2. Schedules I and II attached hereto are hereby made part of this By-law.
3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2024-XXX and By-law 2014-14, as amended, the provisions of By-law 2024-XXX shall apply.

Read a **first, second and third time** and **finally passed** this _____ day of _____, **2024**.

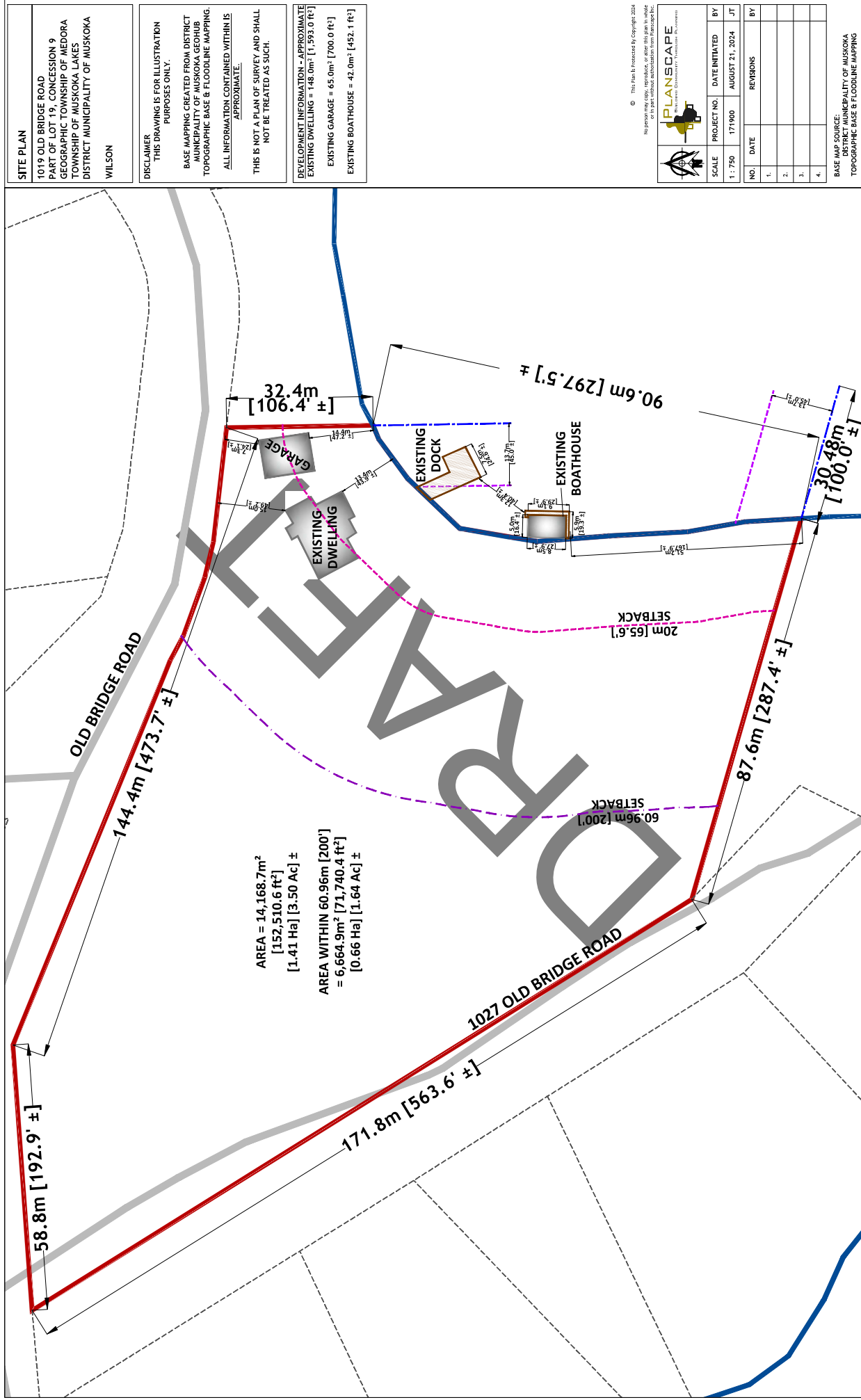
Peter Kelley, Mayor

Crystal Paroschy, Clerk

SCHEDULE I TO DRAFT BY-LAW 2024-XXX

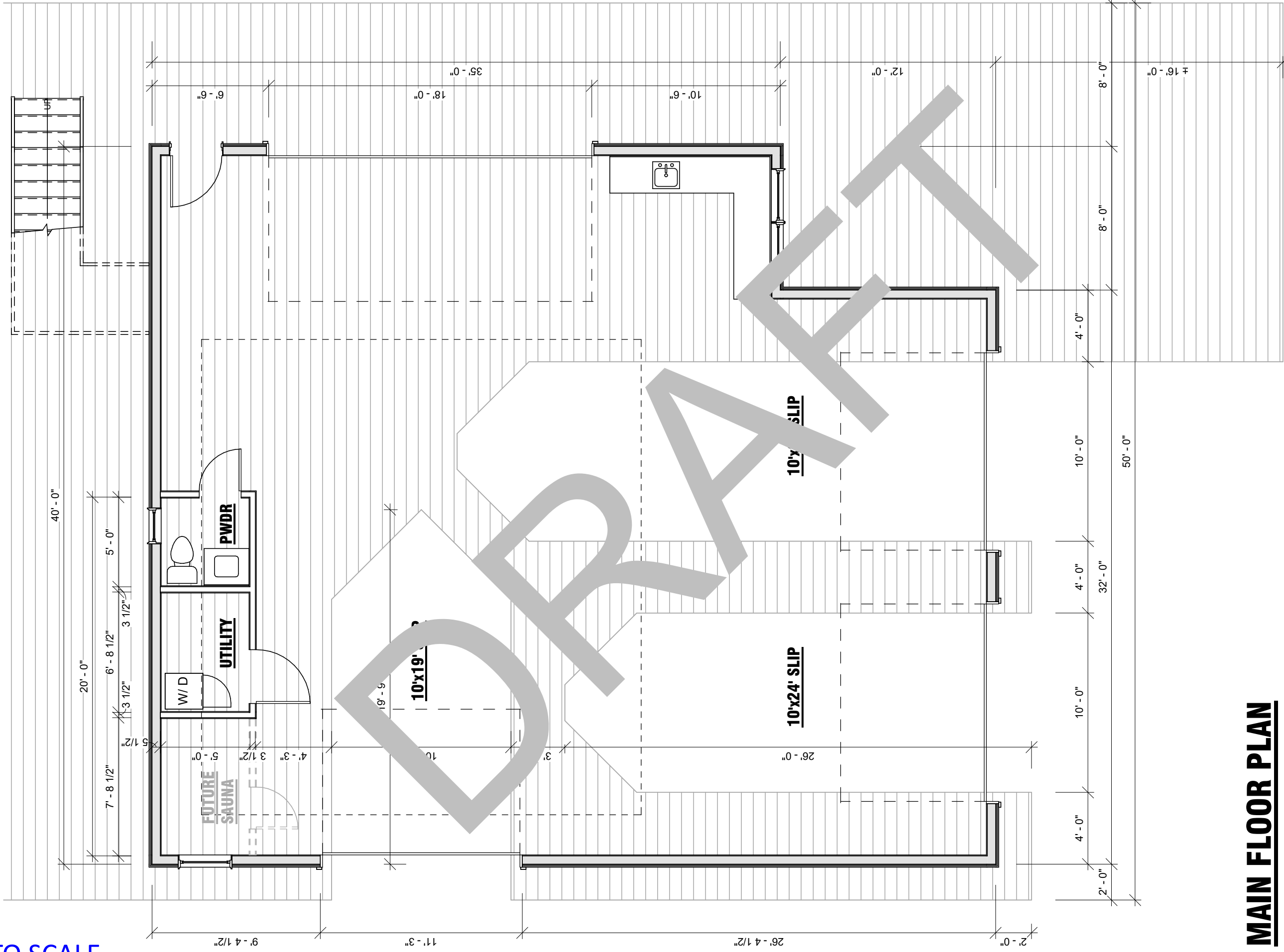


SCHEDULE II TO DRAFT BY-LAW 2024-XXX



NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY



NOT TO SCALE

MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"

