



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-96/24
Roll No.: 8-2-040

Owners:	Whirl 2 Ltd., 129 Bloomfield Drive, London, ON, N6G 1P4		
Address & Description:	1082 Woodwinds Road Lot 17, Concession 1, Part of Lot 4, Plan 17, (Wood)		
Zoning:	Waterfront Residential (WR6-R)	Lake Muskoka (Category 1)	Schedule: 43
Hearing Date: Monday, March, 10th, 2025 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notice/> or scan the QR code.



Explanation of the Purpose and Effect:

The applicants propose to construct additions to a dwelling and finish its basement such that it will no longer be for storage, construct a boatport, and re-locate an existing shed. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3.6	Maximum Permitted Lot Coverage (Entire Lot)	10% (2,480 sq. ft.)	10.5% (2,612.5 sq. ft.)	0.5% (132.5 sq. ft.)	Construct Dwelling Additions and a Boatport and Relocate a Shed
B	4.1.3.6 & 4.1.3.7	Maximum Permitted Lot Coverage (Within 200 feet of the High Water Mark)	10% (2,375.8 sq. ft.)	11.0% (2,612.5 sq. ft.)	1.0% (236.7 sq. ft.)	Construct Dwelling Additions and a Boatport and Relocate a Shed



Notice of Hearing
A-96/24, Whirl 2 Ltd.

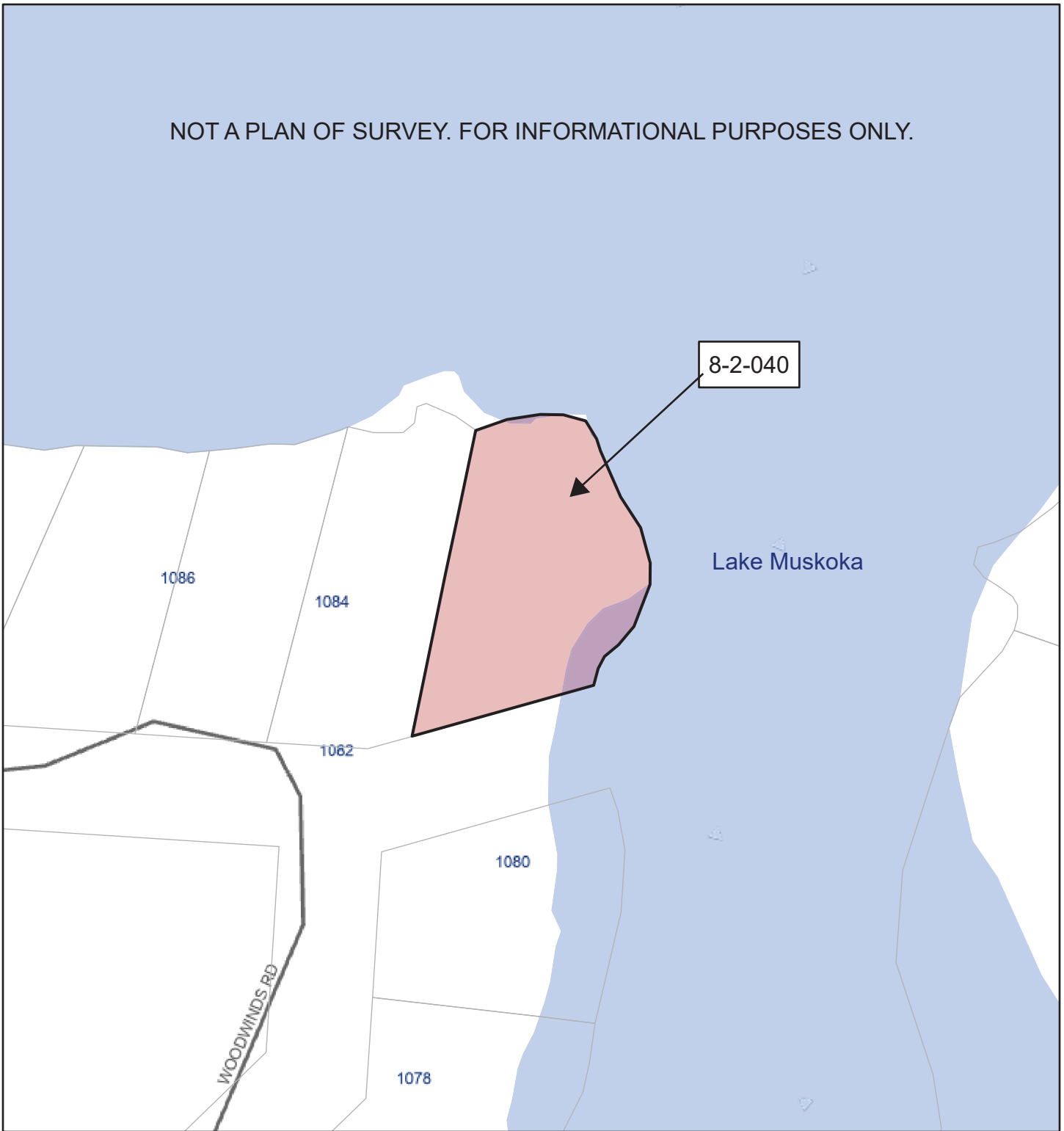
Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
C	4.1.3.5	Minimum Required Front Yard Setback	50 ft.	20.5 ft. (at the closest point)	29.5 ft.	Construct Dwelling Additions and Finish the Basement of the Existing Dwelling
D	4.1.3	Minimum Required Front Yard Setback (Shed)	66 ft.	41 ft.	25 ft.	Relocate an Existing Shed

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.










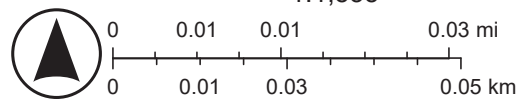
Key Map, A-96/24 (WHIRL 2 LTD.)

NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.



1/7/2025, 12:27:19 PM

-  Parcel: Assessment
-  District Municipality
-  Area Municipality
-  Geographic Township
-  Civic Addresses
-  Road Network
-  Township



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Esri Community Maps Contributors, Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau.

For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: March 5th, 2025

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

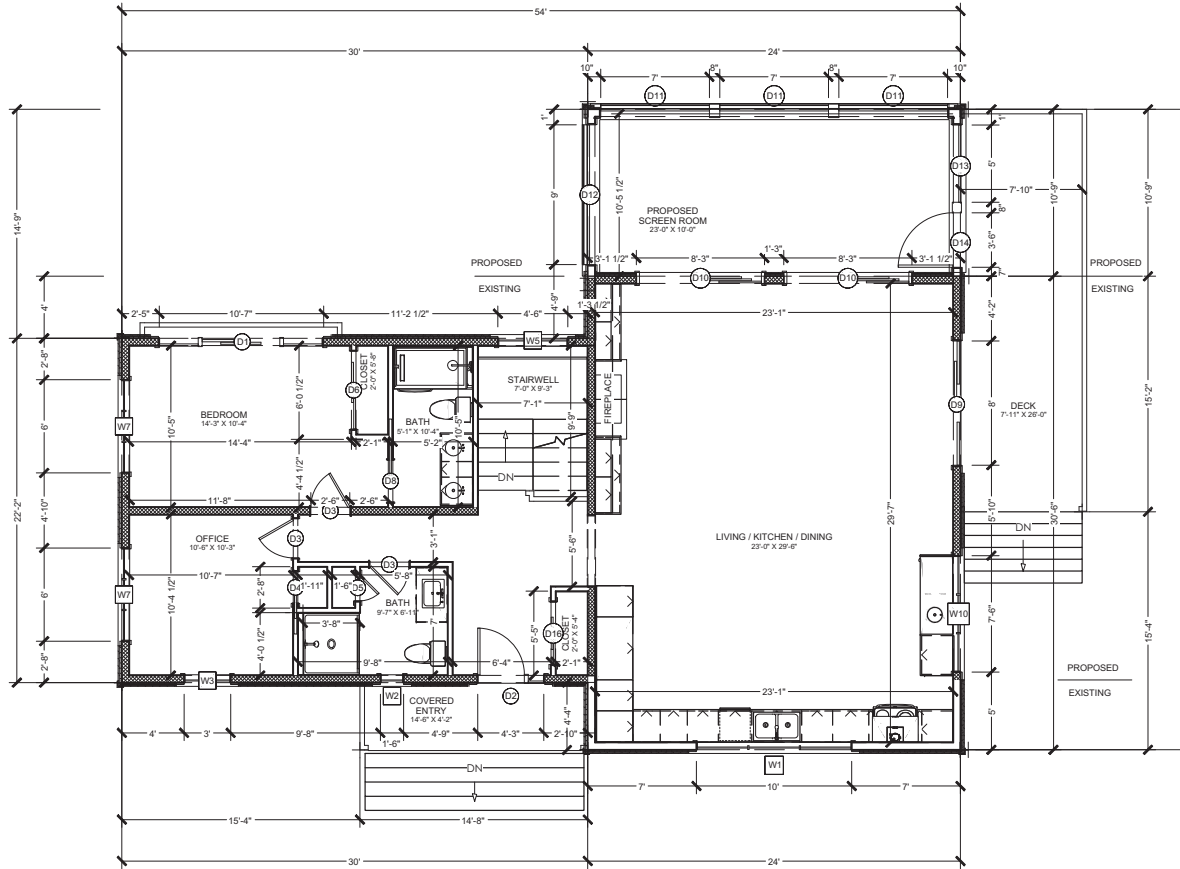
PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 11th day of February, 2025.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



FLOOR PLAN



P1
A - 1.0.

FLOOR PLAN: MAIN (PROPOSED)
SCALE: 1/8" = 1' - 0"

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE



Design By Bobbi

CONTACT INFORMATION:

Name: Bobbi Leppington
Phone: 705-321-8916
Email: designbybobbi@gmail.com
Location: 379 Regent Street, Orillia, ON, L3V 4E1

PROJECT INFORMATION:

Name: Edward Davis
Phone: 1 519 859 9964
Email: e.davis@whirl2.ca
Location: 1082 Woodwinds Rd, Gravenhurst, P1P 1R2

PROJECT DESCRIPTION:

RENO & ADDITION
DRAWING TITLE:
PROPOSED FLOOR PLAN: MAIN

DRAWN BY:

Kyle Mulholland
DESIGNER CONTACT INFORMATION:
kyle@designbybobbi.com

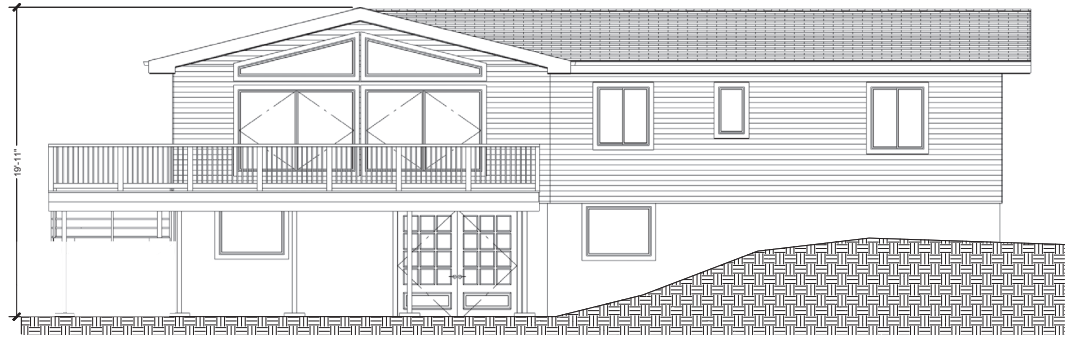
DATE: 2024-08-16

PROJECT NUMBER: 2024 -033

SHEET NUMBER: A - 1.0.

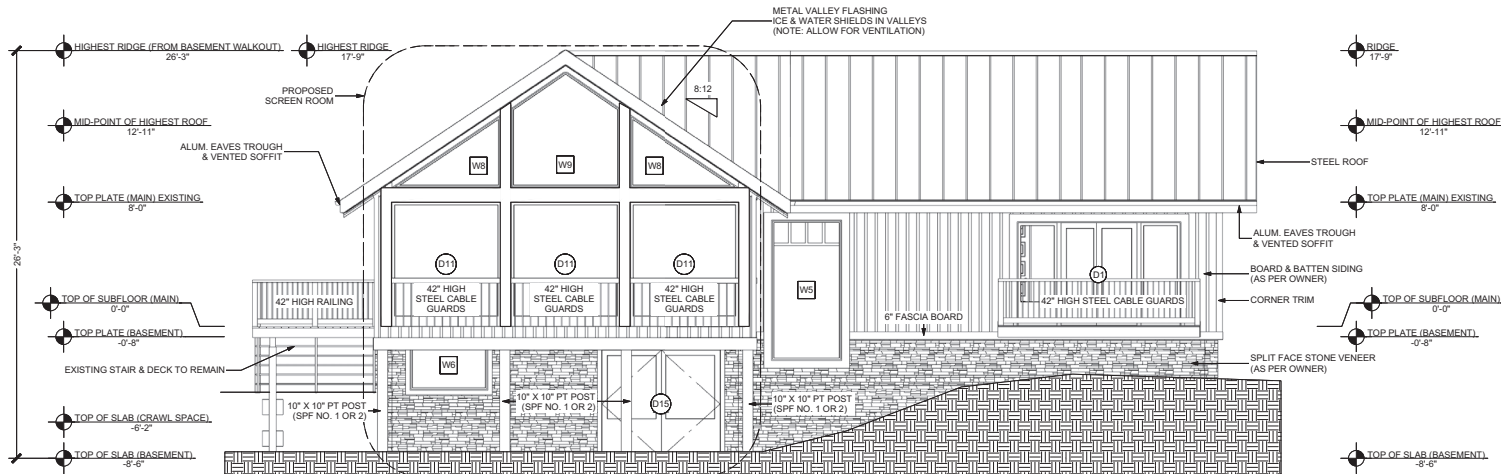
DWELLING ELEVATIONS

FOR INFORMATIONAL PURPOSES ONLY



E1
A - 2.0.

EXISTING - FRONT ELEVATION (LAKE SIDE)
SCALE: 1/8" = 1' - 0"



E1B
A - 2.0.

PROPOSED - FRONT ELEVATION (LAKE SIDE)
SCALE: 1/8" = 1' - 0"

NOT TO SCALE



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CONTACT INFORMATION:

Name: Bobbi Leppington
Phone: 705-321-8916
Email: designbybobbi@gmail.com
Location: 379 Regent Street, Orillia, ON. L3V 4E1

PROJECT INFORMATION:

Name: Edward Davis
Phone: 1 519 859 9964
Email: e.davis@whirl2.ca
Location: 1082 Woodwinds Rd, Gravenhurst, P1P 1R2

PROJECT DESCRIPTION:

RENO & ADDITION
DRAWING TITLE:
ELEVATIONS

DRAWN BY:

Kyle Mulholland

DESIGNER CONTACT INFORMATION:

kyle@designbybobbi.com

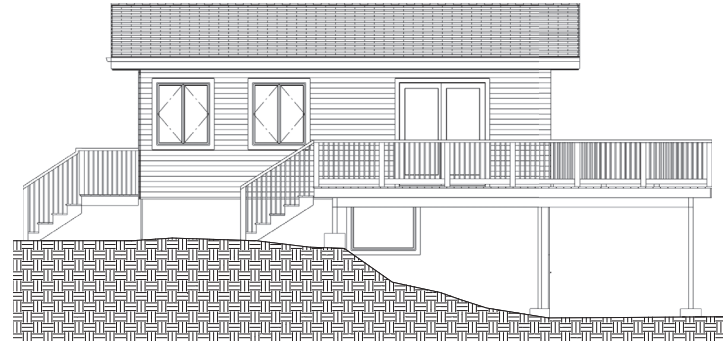
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PROJECT NUMBER: 2024 -033

SHEET NUMBER: A - 2.0.

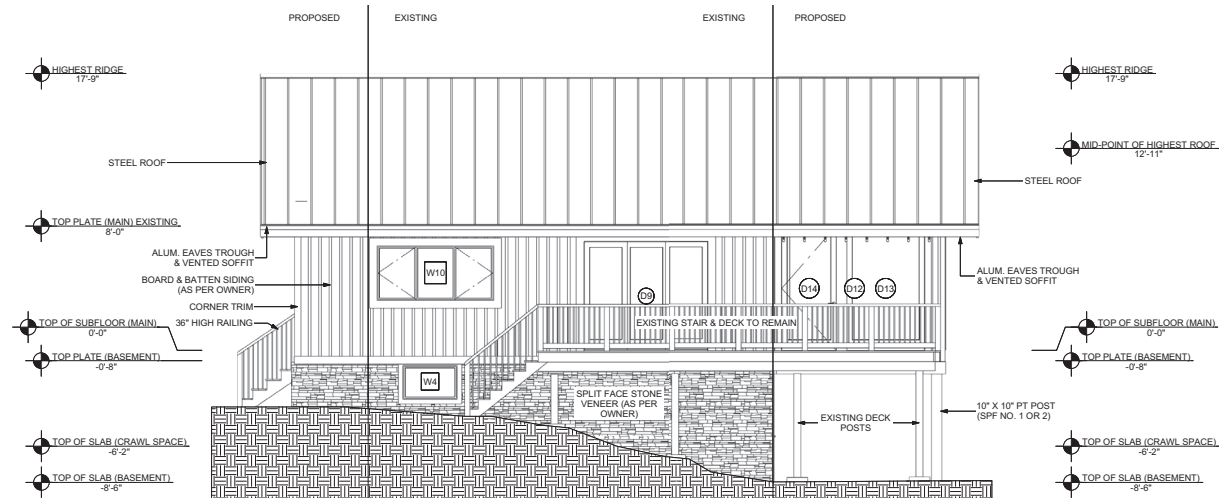
DWELLING ELEVATIONS

FOR INFORMATIONAL PURPOSES ONLY



E2
A - 2.1.

EXISTING - LEFT ELEVATION
SCALE: 1/8" = 1' - 0"



E2B
A - 2.1.

PROPOSED - LEFT ELEVATION
SCALE: 1/8" = 1' - 0"

NOT TO SCALE



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Location: 379 Regent Street, Orillia, ON. L3V 4E1

PROJECT INFORMATION:

Name: Edward Davis
Phone: 1 519 859 9964
Email: e.davis@whif2.ca
Location: 1082 Woodwinds Rd, Gravenhurst, P1P 1R2

PROJECT DESCRIPTION:

RENO & ADDITION
DRAWING TITLE:
ELEVATIONS

DRAWN BY:

Kyle Mulholland

DESIGNER CONTACT INFORMATION:

kyle@designbybobbi.com

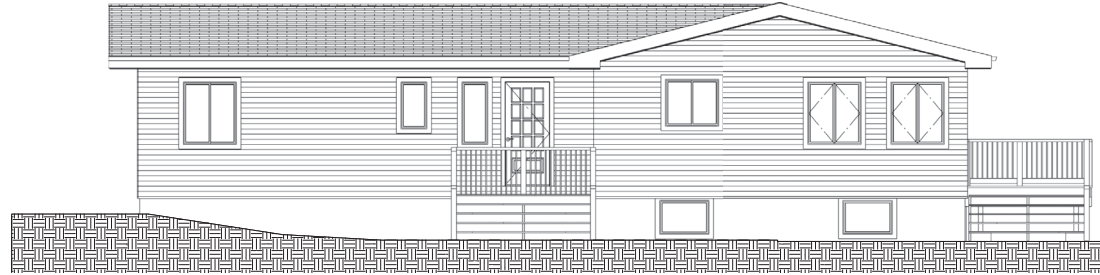
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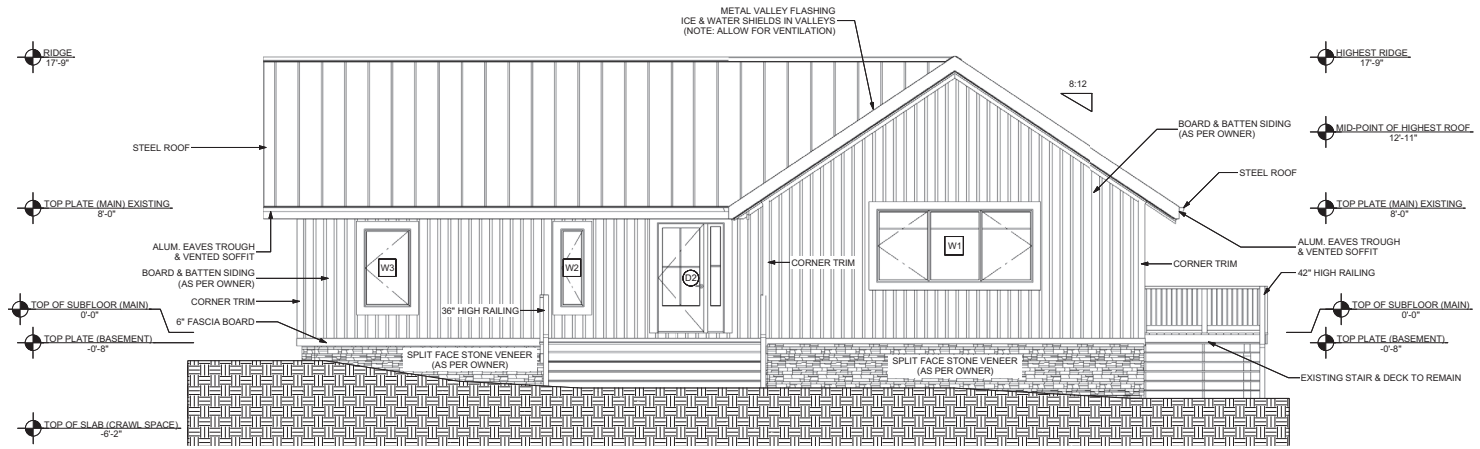
SHEET NUMBER: A - 2.1.

DWELLING ELEVATIONS

FOR INFORMATIONAL PURPOSES ONLY



E3
A - 2.2. EXISTING - REAR ELEVATION (ROAD SIDE)
SCALE: 1/8" = 1' - 0"



E3B
A - 2.2. PROPOSED - REAR ELEVATION (ROAD SIDE)
SCALE: 1/8" = 1' - 0"

NOT TO SCALE



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Name: Bobbi Leppington
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Location: 379 Regent Street, Orillia, ON. L3V 4E1

PROJECT INFORMATION:
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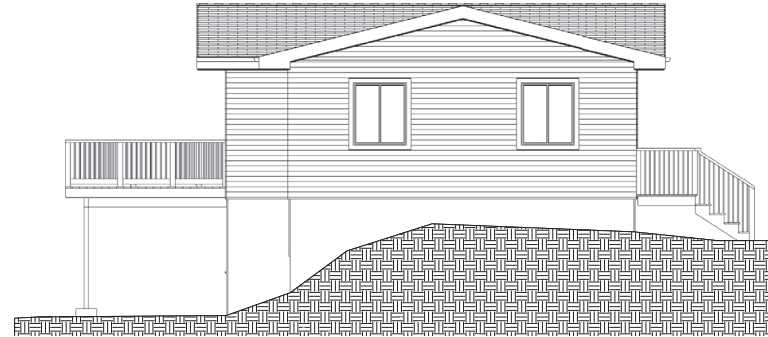
PROJECT DESCRIPTION:
RENO & ADDITION
DRAWING TITLE:
ELEVATIONS

DRAWN BY:
Kyle Mulholland
DESIGNER CONTACT INFORMATION:
kyle@designbybobbi.com

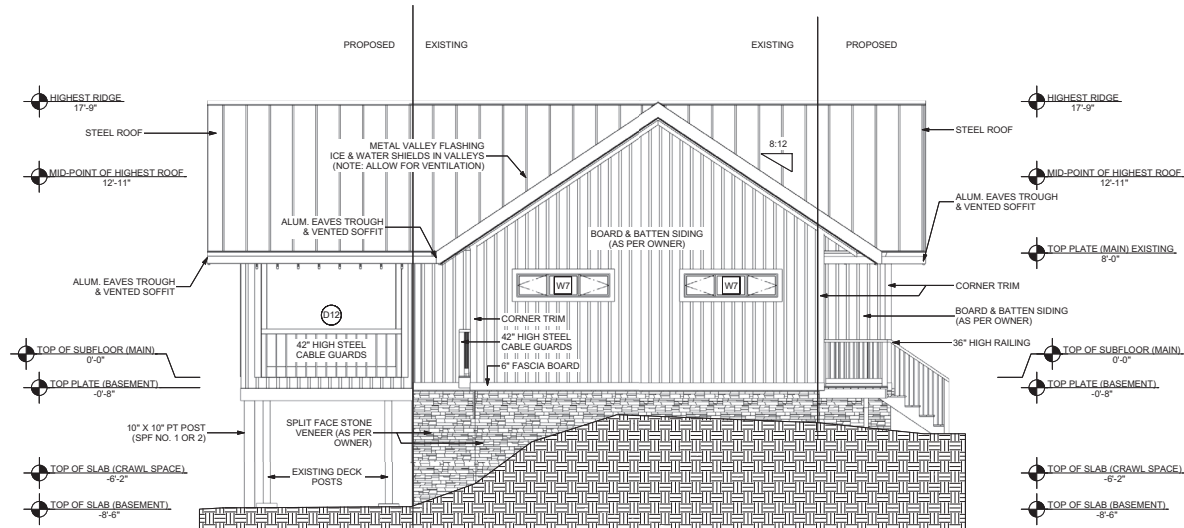
DATE: 2024-08-16
PROJECT NUMBER: 2024-033
SHEET NUMBER: A - 2.2.

DWELLING ELEVATIONS

FOR INFORMATIONAL PURPOSES ONLY



E4
A - 2.3. EXISTING - RIGHT ELEVATION
SCALE: 1/8" = 1' - 0"



E4B
A - 2.3. PROPOSED - RIGHT ELEVATION
SCALE: 1/8" = 1' - 0"

NOT TO SCALE



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Location: 379 Regent Street, Orillia, ON. L3V 4E1

PROJECT INFORMATION:

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Phone: 1 519 859 9964
Email: e.davis@whirf2.ca
Location: 1082 Woodwinds Rd, Gravenhurst, P1P 1R2

PROJECT DESCRIPTION:

RENO & ADDITION
DRAWING TITLE:
ELEVATIONS

DRAWN BY:

Kyle Mulholland

DESIGNER CONTACT INFORMATION:

kyle@designbybobbi.com

DATE: 2024-08-16

PROJECT NUMBER: 2024 -033

SHEET NUMBER: A - 2.3.