



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-95/24

Roll No.'s: 8-3-110 & 8-3-119-02

Owners:	Claus Zander & Nancy Redman, 5203 Country Road 27, Cookstown, ON, L0L 1L0		
Address & Description:	8-3-110: 1667 Walkers Point Road Part of Lot 5, Concession 3, (Wood) 8-3-119-02: No Civic Address – Walkers Point Road Part of Lot 5, Concession 3, (Wood)		
Zoning:	Waterfront Residential (WR1 & WR2)	Lake Muskoka (Category 1)	Schedule: 44
Hearing Date: Monday, March 10th, 2025 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

The applicants propose to construct a one-storey garage on a backlot parcel deemed together with a waterfront parcel as one lot for planning purposes. The following is a summary of the requested variances:

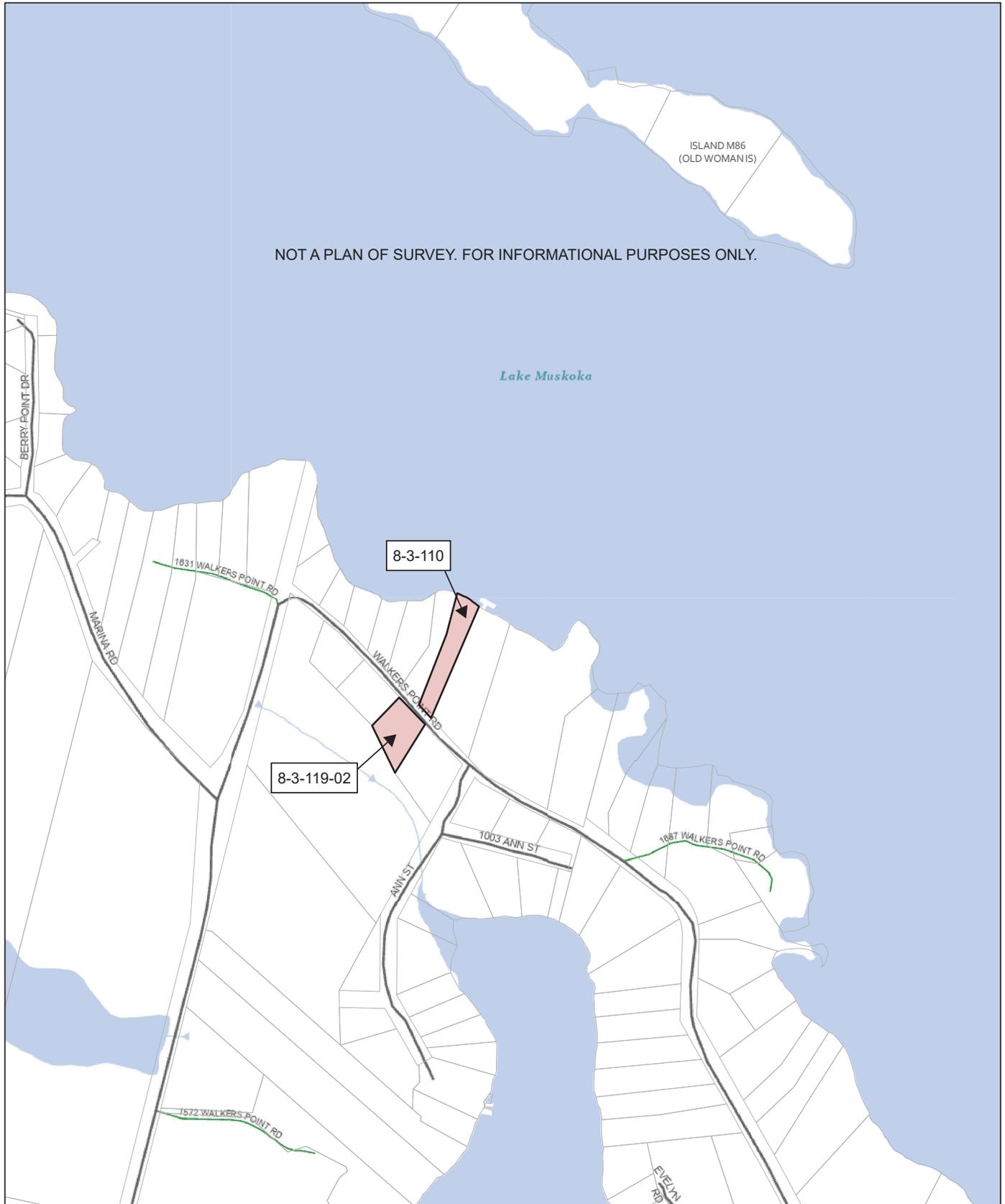
Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	3.4.1 e.	Minimum Lot Frontage	100 ft.	90.5 ft.	9.5 ft.	Construct a One-storey Garage on an Undersized Lot
B	4.1.3	Minimum Interior Side Yard Setback	15 ft.	3ft.	12 ft.	Construct a One-Storey Garage

Please note that Variance A will not deem the subject property a 'building lot', but rather, will grant relief to permit a one-storey garage to be constructed on an undersized lot.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



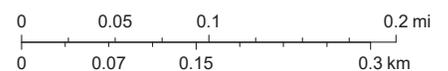
Key Map, A-95/24 (ZANDER & REDMAN)



2/6/2025, 11:05:13 AM

- | | | | | | |
|--|-----------------------|--|-----------------|--|------------|
| | Parcel: Assessment | | Civic Addresses | | Stream |
| | District Municipality | | Road Network | | Waterbody |
| | Area Municipality | | Township | | Major Lake |
| | Geographic Township | | Private | | |

1:6,076



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Esri Community Maps Contributors, Province of Ontario, Esri Canada, Esri, TomTom, Garmin,

For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

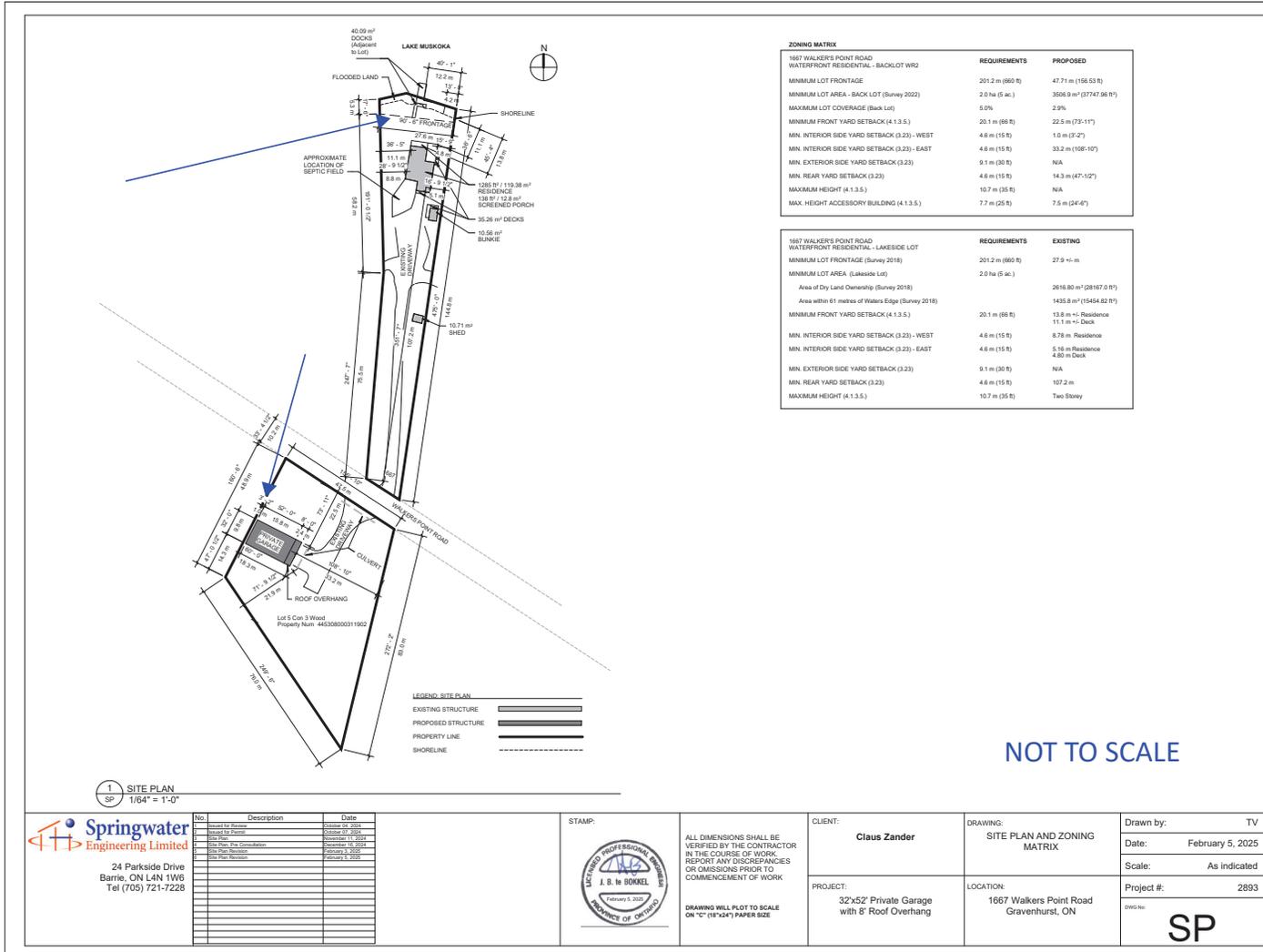
PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka
Lakes this 14th day of February, 2025.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



SITE PLAN



ZONING MATRIX	REQUIREMENTS	PROPOSED
1667 WALKERS POINT ROAD WATERFRONT RESIDENTIAL - BACKLOT WR2		
MINIMUM LOT FRONTAGE	201.2 m (660 ft)	47.71 m (156.53 ft)
MINIMUM LOT AREA - BACK LOT (Survey 2022)	2.0 ha (5 ac.)	3506.9 m ² (8747.96 ft ²)
MAXIMUM LOT COVERAGE (Back Lot)	5.0%	2.9%
MINIMUM FRONT YARD SETBACK (4.1.3.5.)	20.1 m (66 ft)	22.5 m (73'-11")
MIN. INTERIOR SIDE YARD SETBACK (3.23) - WEST	4.6 m (15 ft)	1.0 m (3'-2")
MIN. INTERIOR SIDE YARD SETBACK (3.23) - EAST	4.6 m (15 ft)	33.2 m (108'-10")
MIN. EXTERIOR SIDE YARD SETBACK (3.23)	9.1 m (30 ft)	N/A
MIN. REAR YARD SETBACK (3.23)	4.6 m (15 ft)	14.3 m (47'-10")
MAXIMUM HEIGHT (4.1.3.5.)	10.7 m (35 ft)	N/A
MAX. HEIGHT ACCESSORY BUILDING (4.1.3.5.)	7.7 m (25 ft)	7.6 m (24'-8")

ZONING MATRIX	REQUIREMENTS	EXISTING
1667 WALKERS POINT ROAD WATERFRONT RESIDENTIAL - LAKESIDE LOT		
MINIMUM LOT FRONTAGE (Survey 2018)	201.2 m (660 ft)	27.9 m (91 ft)
MINIMUM LOT AREA (Lakeside Lot)	2.0 ha (5 ac.)	N/A
Area of Dry Land Ownership (Survey 2018)		2656.80 m ² (28167.0 ft ²)
Area within 61 metres of Waters Edge (Survey 2018)		1435.8 m ² (15454.82 ft ²)
MINIMUM FRONT YARD SETBACK (4.1.3.5.)	20.1 m (66 ft)	11.1 m (36 ft) Deck
MIN. INTERIOR SIDE YARD SETBACK (3.23) - WEST	4.6 m (15 ft)	6.76 m Residence
MIN. INTERIOR SIDE YARD SETBACK (3.23) - EAST	4.6 m (15 ft)	5.16 m Residence 4.80 m Deck
MIN. EXTERIOR SIDE YARD SETBACK (3.23)	9.1 m (30 ft)	N/A
MIN. REAR YARD SETBACK (3.23)	4.6 m (15 ft)	107.2 m
MAXIMUM HEIGHT (4.1.3.5.)	10.7 m (35 ft)	Two Storey

NOT TO SCALE

1 SITE PLAN
SP / 1/64" = 1'-0"

Springwater Engineering Limited
24 Parkside Drive
Barrie, ON L4N 1W6
Tel (705) 721-7228

No.	Description	Date
1	Issued for Review	October 26, 2023
2	Revised for Permit	October 27, 2023
3	Site Plan	November 16, 2023
4	Site Plan - Public Consultation	February 16, 2024
5	Site Plan - Final	February 16, 2024
6	Site Plan - Revision	February 2, 2025

STAMP:

ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE COURSE OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF WORK.

DRAWING WILL PLOT TO SCALE ON "C" (11"X17") PAPER SIZE

CLIENT: **Claus Zander**

PROJECT: 32'x52' Private Garage with 8' Roof Overhang

DRAWING: **SITE PLAN AND ZONING MATRIX**

LOCATION: 1667 Walkers Point Road Gravenhurst, ON

Drawn by: TV
Date: February 5, 2025
Scale: As Indicated
Project #: 2893
DWG No: **SP**

NOT TO SCALE

GENERAL NOTES:

- THIS DRAWING SET IS THE PROPERTY OF SPRINGWATER ENGINEERING AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESS WRITTEN CONSENT OF SPRINGWATER ENGINEERING.
- THESE DRAWINGS TO BE USED IN CONJUNCTION WITH CONTRACT DOCUMENTS FOR CONSTRUCTION.
- GENERAL NOTES AND SPECIFICATIONS PROVIDED BY ALL THE SERVICE PROVIDERS.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AS REQUIRED TO PERFORM THE WORK. ANY DISCREPANCIES SHALL TO BE REPORTED TO SPRINGWATER ENGINEERING IMMEDIATELY TO OBTAIN CLARIFICATION PRIOR TO COMMENCING WORK.
- DESIGN LOADS ARE NOTED. THEY SHALL NOT BE EXCEEDED DURING CONSTRUCTION, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR STRESSES AND INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- NO SUBSTITUTIONS. CONTRACTOR AGREES TO USE ALL SPECIFIED MATERIALS WITHOUT SUBSTITUTION. NON SPECIFIED MATERIALS MUST BE APPROVED SPRINGWATER ENGINEERING PRIOR TO USE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK.
- TYPICAL STRUCTURAL DETAILS ARE SHOWN ON DRAWINGS. IF DETAILS DIFFER ON OTHER DRAWINGS, CONTACT THE ENGINEER OF RECORD FOR CLARIFICATION.
- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE 2012 (OBC 2012) AND THE OCCUPATIONAL HEALTH AND SAFETY ACT.
- PROVIDE ALL ACCESSORY ITEMS OR MATERIALS, SUCH AS BRACKETS, CLEATS, UNDERLAYS, OVERLAYS, CONNECTORS, FASTENERS, COVER PLATES, SEALANTS, LUBRICANTS, CLEANERS, BONDING AGENTS, AND SIMILAR ITEMS, WHETHER SPECIFIED OR NOT, SO THAT THE WORK IS COMPLETE AND WILL PERFORM AS REQUIRED.
- CONTRACTOR SHALL CONTACT ALL LOCAL UTILITIES AND SERVICES PRIOR TO EXCAVATION AND OBTAIN PROPER LOCATES.
- ALL STANDARDS REFERRED TO IN THE DRAWINGS AND SPECIFICATIONS SHALL BE THE LATEST EQUALIZED VERSIONS.
- OWNER IS RESPONSIBLE FOR OBTAINING THE APPROVALS AND PERMITS FROM BUILDING AUTHORITIES.

DESIGN LOADS:

1. SNOW LOADS - CLIMATIC DATA BASED ON GRAVENHURST, ONTARIO
 $S_s = 2.7 \text{ kPa}$
 $S_f = 1.4 \text{ kPa}$
 $C_s = 0.95$

CONCRETE MASONRY NOTES:

- GENERAL:**
- ALL MASONRY CONSTRUCTION SHALL CONFORM TO CSA STANDARD A371 "MASONRY CONSTRUCTION FOR BUILDINGS".
 - REFER ALSO TO GENERAL NOTES, STRUCTURAL DRAWINGS / PLANS AND TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

PRODUCTS:

- UNLESS NOTED OTHERWISE THE MINIMUM COMPRESSIVE STRENGTH (TESTED FLAT WISE) SHALL BE 20 MPa BASED ON GROSS AREA FOR SOLID AND CORED UNITS AND NET AREA FOR HOLLOW UNITS.
- MORTAR TO BE PREPARED BY PROPORTION SPECIFICATION IN ACCORDANCE WITH CSA A175, TYPE "S" FOR ALL MASONRY.
- MASONRY GROUT TO CONFORM TO CSA A175 AND BE PREPARED BY PROPERTY SPECIFICATION.
- MINIMUM 15 MPa COMPRESSIVE STRENGTH AT 28 DAYS.
- SLUMP TO BE 50 MM (2") MINIMUM TO 250 MM (10") MAXIMUM.
- GROUT TO BE FINE (W/M MAXIMUM GROUT SPACE 0.50 MM (20") OR LESS).
- TESTING TO BE DONE IN ACCORDANCE WITH CSA A175.
- MASONRY CONNECTORS (TIE, ANCHORS, AND FASTENERS) SHALL CONFORM TO CSA A370 AND BE INSTALLED IN ACCORDANCE WITH CSA A371. SPACING, STRENGTH AND CORROSION PROTECTION OF STRIP TIE, DOWEL TIE, ANCHORS, BAR ANCHORS, ROD ANCHORS, STRAP ANCHORS, WALL ANCHORS AND PARTITION ANCHORS SHALL COMPLY WITH CSA A370.
- REINFORCING BARS TO CONFORM TO CSA C30.18 - GRADE 400 MPa.
- HORIZONTAL JOINT REINFORCEMENT TO BE 240 LADDER-TWIN MESH, EXTRA HEAVY DUTY REINFORCING BY HORMAN BARRIERS, INC. OR APPROVED EQUIVALENT AT EACH COURSE.
- PROVIDE ALL PREFABRICATED CORNER AND TEE SECTIONS.
- JOINT REINFORCING FOR EXTERIOR WALLS, WALLS IN CONTACT WITH SOIL, AND WALLS IN MOIST ENVIRONMENTS SHALL BE HOT DIP GALVANIZED AFTER FABRICATION TO ASTM A153 - CLASS B2 WITH MINIMUM ZINC COATING MASS OF 498 G/SM² (1.15 OZ/100 SQ FT).

EXECUTION:

- VERTICAL SPACING OF HORIZONTAL JOINT REINFORCING SHALL NOT EXCEED 200MM (8").
- TOLERANCES FOR MASONRY CONSTRUCTION SHALL CONFORM TO CSA A371, UNLESS NOTED OTHERWISE.
- PROVIDE HOT AND COLD WEATHER PROTECTION AS REQUIRED BY CSA A371.
- NO MASONRY WORK SHALL BE PERMITTED BELOW 5 DEGREES OF CELSIUS.

WOOD FRAMING NOTES:

- WOOD CONSTRUCTION SHALL CONFORM TO ONTARIO BUILDING CODE 2012, PART 9 UNLESS NOTED OTHERWISE.
- LUMBER - UNLESS OTHERWISE NOTED TO BE SPRUCE-PINE-FIR (SPF), GRADE NO.1ND.2, OR CANADIAN 13 OR 24 STANDARD DIMS WITH A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF INSTALLATION. ALL LUMBER SHALL BEAR THE GRADING STAMP OF AN AGENCY APPROVED BY THE CANADIAN FORESTRY STANDARDS ADMINISTRATION BOARD.
- ROUGH HARDWARE - BOLTS, NUTS, WASHERS, LAGS, PINS, SCREWS, ALL TO BE HOT DIP GALVANIZED IF EXPOSED TO EXTERIOR USE.
- WOOD PRESERVATIVES (PRESSURE TREATED) - WHERE REQUIRED TO CONFORM TO CSA STANDARD B84, ALL WOOD PRODUCTS BEARING ON CONCRETE OR MASONRY AT OR BELOW GRADE TO BE PRESURE TREATED OR BE PROTECTED WITH A MINIMUM 0.05 POLYETHYLENE VAPOUR BARRIER, ROOF FLOORING, OR APPROVED EQUIVALENT.
- ALL WOOD PRODUCT EXPOSED DIRECTLY TO SOIL SHALL BE PRESURE TREATED.
- FRAMING ANCHORS - FRAMING ANCHORS, JOIST HANGERS, BEAM HANGERS, POST CAPS, POST ANCHORS, BACKLIP CLIPS AND ANGLES, UNLESS OTHERWISE SHOWN ON THE STRUCTURAL DRAWINGS, ARE ALL TO BE AS MANUFACTURED BY SIMPSON OR AN APPROVED EQUAL, AND SIZED APPROPRIATELY FOR THE CONNECTING MEMBERS. ALL ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS UTILIZING NAILS OR SCREWS WHERE REQUIRED.
- SHAKES, NOTCHING, AND DRILLING THROUGH MEMBERS IS NOT PERMITTED EXCEPT AS SPECIFIED BY THESE PLANS AND/OR AS APPROVED BY THE ENGINEER.
- NAILS, SPIKES AND STAPLES - TO CSA STANDARD B111, GALVANIZED FOR EXTERIOR WORK, OR HIGHLY KUMD RANS AND/OR FOR TREATED LUMBER, PLAN ELSEWHERE. NAILING OF FRAMING UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLES 9.2.3 A, B, AND 9.2.3.13 A IN THE ONTARIO BUILDING CODE.
- ALL WOOD PRODUCT EXPOSED DIRECTLY TO SOIL OR CONCRETE SHALL BE PRESURE TREATED.
- ALL MULTIPLE WOOD MEMBERS SHALL BE BUILT UP IN ACCORDANCE WITH OBC 2012, PART 9 FOR PER MANUFACTURER'S SPECIFICATIONS AND GUIDELINES.
- PROVIDE SOLID BLOCKING, SQUARE BLOCKS BELOW POINT LOADS TO ENSURE LOADS ARE PROPERLY TRANSFERRED TO SUPPORTING ELEMENTS OR FOUNDATION.

FOUNDATIONS / BACKFILLING AND COMPACTION

GENERAL:

- ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED BASE OR COMPACTED GRANULAR WITH A MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 70KPa.
- HYDROSTATIC PRESSURE DUE TO WATER BUILD UP HAS NOT BEEN ACCOUNTED IN THE STRUCTURAL DESIGN. IF THIS ASSUMPTION IS NOT VALID DUE TO SITE SPECIFIC CONDITIONS, CONTACT STRUCTURAL ENGINEER FOR INSTRUCTIONS PRIOR TO STARTING ANY WORK.

EXECUTION:

- REMOVE TOPSOIL AND OTHER ORGANIC MATERIAL FROM THE BUILDING AREA.
- EXTEND ALL FOUNDATIONS TO FIRM UNDISTURBED NONORGANIC NATIVE SUBSOIL OR IMPROVED BASE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- PROTECT EXCAVATED SURFACE FROM WATER OR FROST DAMAGE, WHERE APPLICABLE.
- CONSTRUCTION PROTECTS SUCH PROTECTION.
- FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL THE WALL HAS GAINED FULL STRENGTH.
- COMPACT FOUNDATION BACKFILL TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (SPDM) IN MAXIMUM LIFTS OF 200 MM UNLESS NOTED OTHERWISE BY THE GEOTECHNICAL ENGINEER.
- ALL EXTERIOR FOOTINGS OR OTHER FOOTINGS EXPOSED TO FREEZING IN THE FINISHED BUILDING SHALL BE FOUNDED AT A MINIMUM OF 1200 MM (4') BELOW FINISHED GRADE UNLESS NOTED OTHERWISE.
- FOUNDATION FOOTINGS EXPOSED TO FROST ACTION DURING CONSTRUCTION SHALL BE PROTECTED BY A MINIMUM 2" (50MM) (4") OF EARTH OR ITS EQUIVALENT SUFFICIENT TO PREVENT FREEZING, IF NOT BEARING ON BEDROCK.
- FOUR ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE BASED UPON INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THE STRUCTURAL DRAWINGS. IF ACTUAL JOB SITE OR SOIL CONDITIONS VARY FROM THOSE ASSUMED, THEN WRITTEN DIRECTIONS MUST BE OBTAINED FROM THE STRUCTURAL CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- KEEP EXCAVATIONS CONSTANTLY ABOVE CONCRETE IS PLACED. IF THE SOIL IS SOFTENED BY WATER, THE EXCAVATION SHALL BE EXTENDED BELOW THE SOFTENED MATERIAL AND THE BOTTOM OF THE FOOTING LOWERED TO BUILT.
- ALL STRUCTURAL ELEMENTS FRAMING INTO WALLS INCLUDING SLABS ON GRADE THAT TIE INTO THE TOP OF WALLS THAT RETAIN EARTH MUST BE PLACED AT THEIR FULL DESIGN STRENGTH PRIOR TO BACKFILLING.
- UNLESS OTHERWISE NOTED, PROVIDE IMMEDIATELY UNDER SLABS ON-GRADE A MINIMUM OF 150MM (6") OF COMPACTED GRANULAR MATERIAL.
- PROVIDE POSITIVE DRAINAGE FOR ALL EXTERIOR SURFACES, WEEDERS PER OBC 2012, PART 9 AND FINISH SURFACES PROVIDED WITH DRAINS, WITH CONSTANT SLOPE TO DRAINS OR DRAINAGE COURSES, AND AWAY FROM CONSTRUCTION.
- LEAK PROOF OR WATERPROOF ALL FOUNDATIONS PER ONTARIO BUILDING CODE 2012, PART 9 REQUIREMENTS.
- ENSURE THAT FOUNDATION STRUCTURES OF THE ADJACENT PROPERTIES ARE NOT UNDERMINED DURING EXCAVATION.

CONCRETE:

- ALL CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF CANCSA-A23.1 AND BE READY-MIX, TYPE 2.
- CONCRETE SHALL BE DESIGNED, BATCHED, DELIVERED, PLACED AND CURED IN CONFORMANCE WITH THE REQUIREMENTS OF OBC 2012, PART 9.4 CANCSA-A23.1.
- CONCRETE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS FOLLOWS:
 A. 25 MPa (3.6 KSI) FOR ALL
 B. EXTERIOR FLATWORK NEW STAR 32 MPa (4.6 KSI)
 C. 25 MPa (3.6 KSI) FOR ALL
 D. 25 MPa (3.6 KSI) FOR ALL
 E. 25 MPa (3.6 KSI) FOR ALL
 F. 25 MPa (3.6 KSI) FOR ALL
 G. 25 MPa (3.6 KSI) FOR ALL
 H. 25 MPa (3.6 KSI) FOR ALL
 I. 25 MPa (3.6 KSI) FOR ALL
 J. 25 MPa (3.6 KSI) FOR ALL
 K. 25 MPa (3.6 KSI) FOR ALL
 L. 25 MPa (3.6 KSI) FOR ALL
 M. 25 MPa (3.6 KSI) FOR ALL
 N. 25 MPa (3.6 KSI) FOR ALL
 O. 25 MPa (3.6 KSI) FOR ALL
 P. 25 MPa (3.6 KSI) FOR ALL
 Q. 25 MPa (3.6 KSI) FOR ALL
 R. 25 MPa (3.6 KSI) FOR ALL
 S. 25 MPa (3.6 KSI) FOR ALL
 T. 25 MPa (3.6 KSI) FOR ALL
 U. 25 MPa (3.6 KSI) FOR ALL
 V. 25 MPa (3.6 KSI) FOR ALL
 W. 25 MPa (3.6 KSI) FOR ALL
 X. 25 MPa (3.6 KSI) FOR ALL
 Y. 25 MPa (3.6 KSI) FOR ALL
 Z. 25 MPa (3.6 KSI) FOR ALL
- NO CONCRETE SHALL BE POURED WITHOUT PRIOR REVIEW BY THE ENGINEER OR BUILDING INSPECTOR.
- CONCRETE COLD WEATHER REQUIREMENTS WHEN FORECASTED AIR TEMPERATURE AT OR BELOW 5°C:
 A. TEMPERATURE OF THE CONCRETE AT ALL SURFACES SHALL BE KEPT AT A MINIMUM OF 10°C FOR 3 DAYS.
 B. NO FROZEN MATERIAL SHALL BE USED IN CONCRETE MIX.

REINFORCING STEEL:

- THE YIELD STRENGTH FOR MAIN BARS 400MPa
- THE YIELD STRENGTH FOR LATERAL TIE & STRIPS 400MPa, CSA SPEC. C32
- ALL SPLICES TO BE LAPPED 24"
- PROVIDE 2" COVER TO REINFORCING STEEL AGAINST EARTH, ELSEWHERE.

FOR INFORMATIONAL PURPOSES ONLY



Springwater Engineering Limited
 24 Parkside Drive
 Barrie, ON L4N 1W6
 Tel (705) 721-7228

No.	Description	Date
1	Issued for Review	October 2020
2	Revised for Permit	October 2020
3	Revised for Permit	February 2021
4	Revised for Permit	February 2021
5	Revised for Permit	February 2021
6	Revised for Permit	February 2021
7	Revised for Permit	February 2021
8	Revised for Permit	February 2021
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12	Revised for Permit	February 2021
13	Revised for Permit	February 2021
14	Revised for Permit	February 2021
15	Revised for Permit	February 2021
16	Revised for Permit	February 2021
17	Revised for Permit	February 2021
18	Revised for Permit	February 2021
19	Revised for Permit	February 2021
20	Revised for Permit	February 2021

STAMP:



ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE COURSE OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF WORK.

CLIENT:	Claus Zander	DRAWING:	NOTES	Drawn by:	TV
				Date:	February 5, 2025
				Scale:	
PROJECT:	32'x52' Private Garage with 8' Roof Overhang	LOCATION:	1667 Walkers Point Road Gravenhurst, ON	Project #:	2893
				DWG No.:	A104