



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-93/24
Roll No.: 7-9-015

Owner:	James North, 1064 River Road, Bala, ON, P0C 1H0		
Address & Description:	1064 River Street Lot 13, Concession B, Lot 272, Plan 1, (Medora)		
Zoning:	Community Residential – Urban Centre (R1)	Lake: Not Applicable	Schedule: 56
Hearing Date: Monday, March, 10th, 2025 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

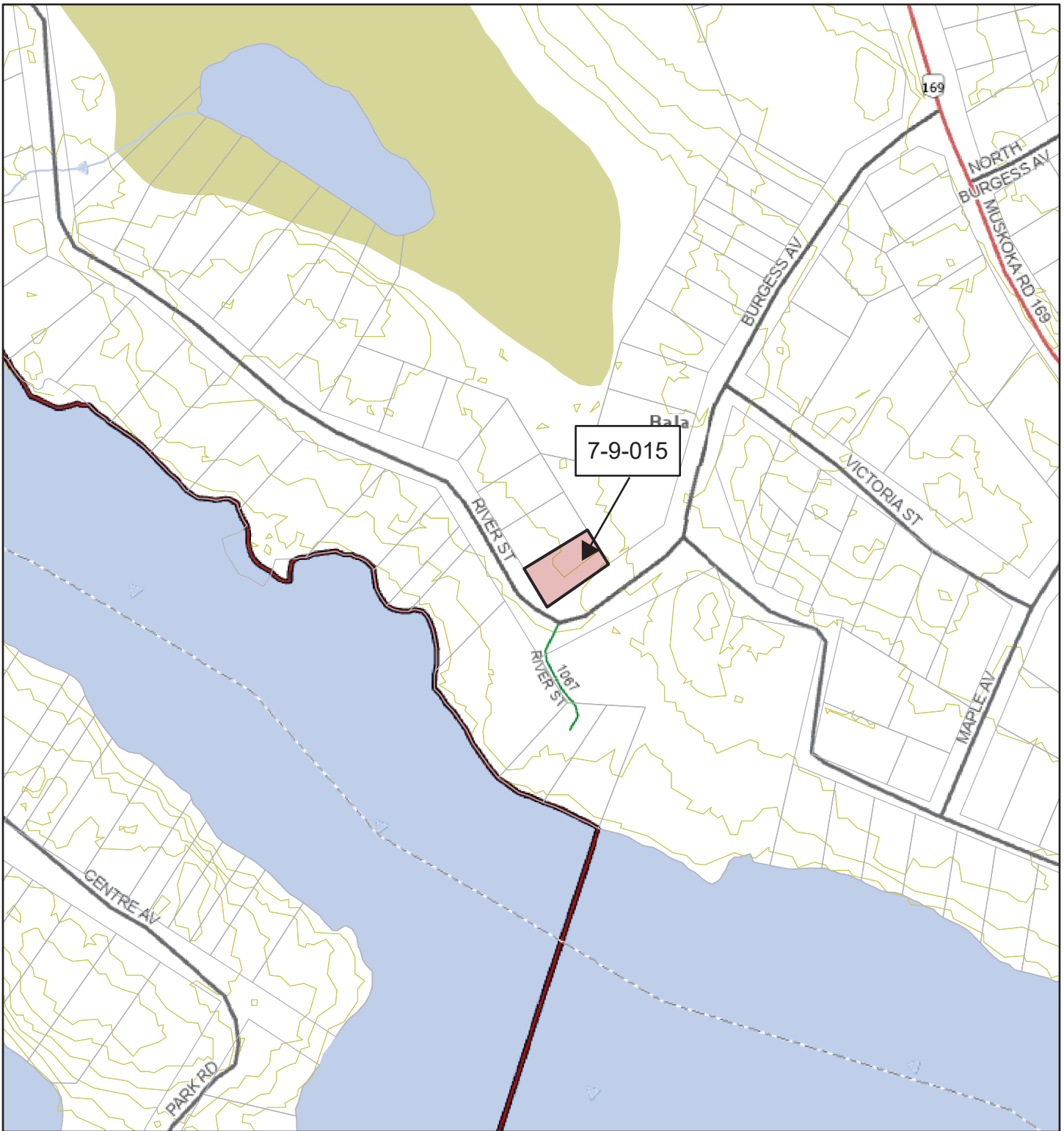
The applicant proposes to construct an addition to an existing dwelling. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	3.23.1	Minimum Required Setback from a Street	25 ft.	13.5 ft.	11.5 ft.	Construct a Dwelling Addition
B	5.1.3	Minimum Required Front Yard Setback	25 ft.	13.5 ft.	11.5 ft.	Construct a Dwelling Addition

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



Key Map, A-93/24 (NORTH)








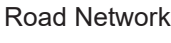





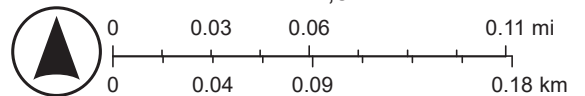
7-9-015

1/7/2025, 11:19:32 AM

NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

1:4,814

-  Parcel: Assessment
-  District Municipality
-  Area Municipality
-  Geographic Township
-  Settlement Areas
-  Urban Centre
-  Civic Addresses
-  Road Network
-  District
-  Township
-  Private



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodastatysrelen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Esri Community Maps Contributors, Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau.

For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

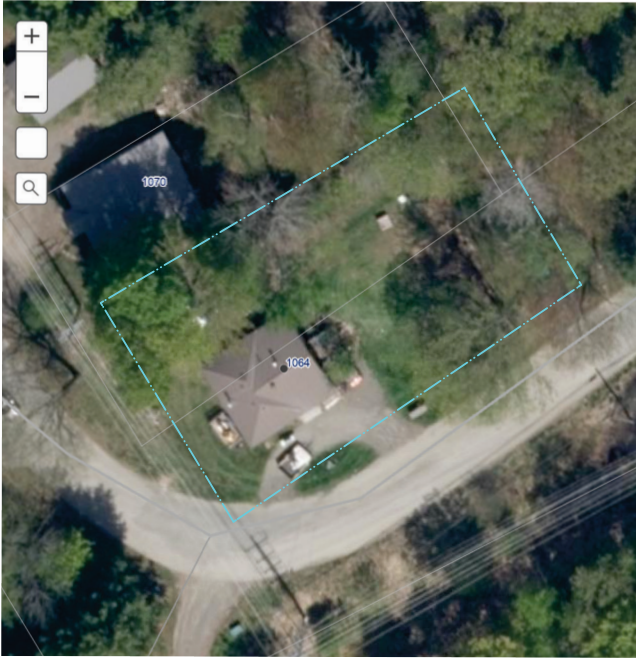
DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

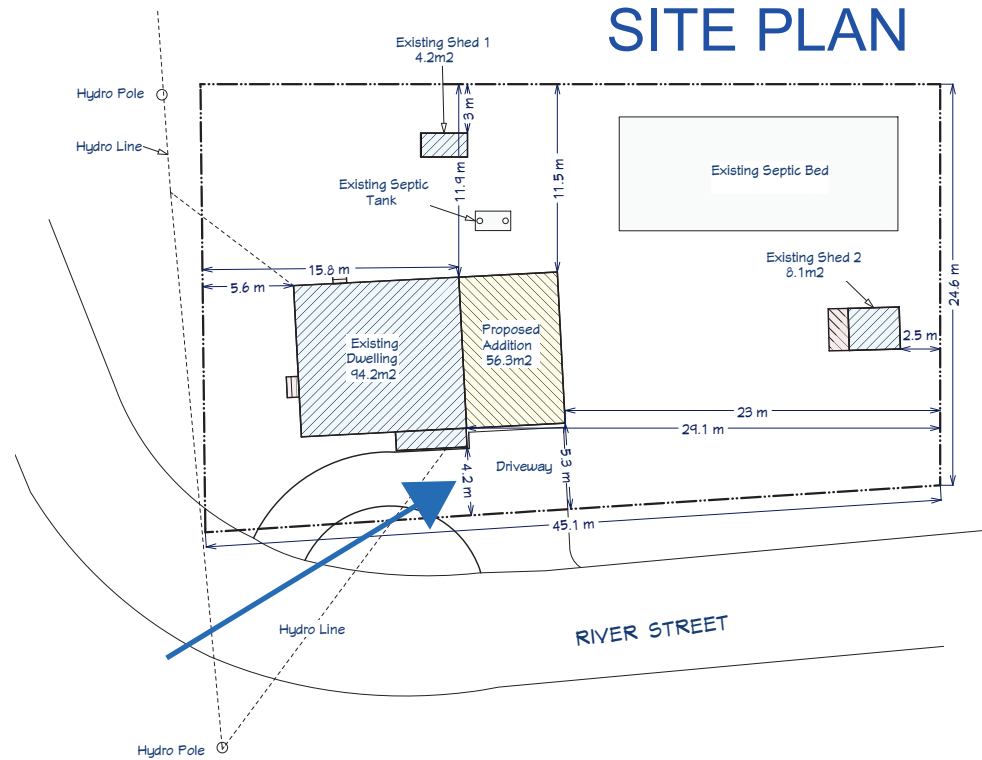
Dated at the Township of Muskoka
Lakes this 14th day of February, 2025.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca





SITE PLAN



Design By Bobbi

CONTACT INFORMATION:

Name: Bobbi Leppington
 Phone: 705-321-8916
 Email: designbybobbi@gmail.com

Location: 379 Regent St
 Orillia, Ontario
 L3V 1V4

GENERAL NOTE:

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO THE DESIGNER.

PROJECT INFORMATION:

James North
 1064 River Street
 Muskoka Lakes On.
 Minor Variance

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:

18465 **B. Leppington**

BCIN SIGNATURE

REGISTRATION INFORMATION:

103806 **Design by Bobbi**

BCIN FIRM NAME

REVISIONS

NUM	DATE	REVISED BY	DESCRIPTION
01	24.09.18	SLR	SITE PLAN
02	24.09.24	SLR	REV 1
03	24.10.23	SLR	REV 2
04	24.11.01	SLR	REV 3

DRAWN BY:

STEVE ROSSITER

SCALE:

1 : 300

DRAWING:

SITE PLAN

PROJECT NUMBER:

2025-006

SHEET NUMBER:

SP 1.0

MUSKOKA ZONING R1

LOT SETBACKS

Proposed Addition	Required	Proposed	Acceptable
FY	7.6m	4.2m	No (Variance Required)
SY(N)	1.8m	11.5m	Yes
EXT. SY(S)	7.6m	5.6m	Yes (Existing)
RY	7.6m	23.0m	Yes

Lot Coverage

Existing Dwelling	94.2m ²
Existing Shed 1	4.2m ²
Existing Shed 2	8.1m ²
Total	106.5m²
Proposed Addition:	56.3m ²
Total	162.8m²

Lot Coverage	Full Lot (1178.2m ²)	Required	Existing	Proposed	Acceptable
		35%	9.0%	13.8%	Yes

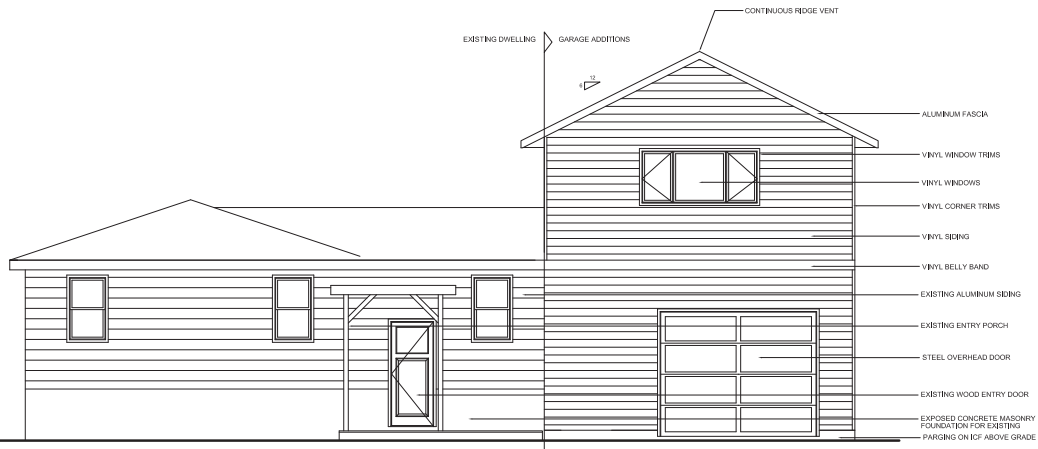
NOT TO SCALE



Information for Site Plan taken from Survey
 By Raikes Geomatics Inc
 Dated November 11, 2021

SP SITE PLAN AND ZONING ANALYSIS
 SP-1.0. MUSKOKA LAKES

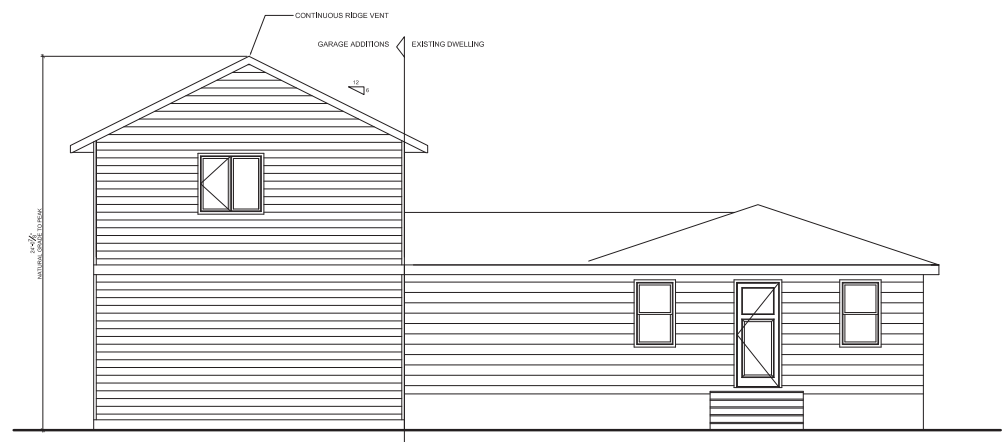
ELEVATIONS - DWELLING



1 ROAD ELEVATION
A-5



2 SIDE ELEVATION
A-5



3 REAR ELEVATION
A-5

PROJECT
NORTH / BARNES

GENERAL DESCRIPTION
1054 RIVER STREET, BALA
TOWNSHIP OF MUSKOKA LAKES
DISTRICT OF MUSKOKA

DESIGN DATA FOR BRACE/EDGE
GROUND SNOW LOAD Ss: 31 kPa
ASSOC. RAIN LOAD R: 3.4 kPa
WIND LOAD W: 0.34 kPa
MIN. ALLOWABLE SOILS: 50 kPa

CONSTRUCTION NOTES:
- ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS.
- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE.
- ALL UNITS TO BE 20/10 UN.D. TYP.
- ANY WINDOW OR DOOR OPENING WITH A POINT LOAD OR AN OPENING EXCEEDING 6' REQUIRES A DOUBLE CORNICE EACH SIDE.
- FULL BEARING BUILT-UP STUD POST OR MIN. 6x6 POST TO SUPPORT ALL BEAMS, POST AND POINT LOADS FROM ABOVE. SOLID SQUASH BLOCKING BY THE FLOOR UNLESS ALL POINT LOADS.
- ALL LVL BEAMS TO BE 2.0 E 2850 Fb OR AS ENGINEERED.

2		
2		
1	NOV. 2020	PERMIT DRAWINGS
NO.	DATE	DESCRIPTION
REVISIONS		

SHEET TITLE
ELEVATIONS

DATE NOV. 3, 2020	DRAWN BY JIN
SCALE 3/16" = 1'-0"	SHEET NUMBER A-5

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE