



1 Bailey Street  
Port Carling, ON P0B 1J0

E: [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) P: 705-765-3156 F: 705-765-6755

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: A-91/24**

**Roll No.: 4-5-013**

<b>Owner:</b>	John Evans, 995 5 <sup>th</sup> Avenue, Floor 16, New York, New York, United States, 10028		
<b>Address &amp; Description:</b>	1053 Roberts Bay Road Lot 9, Concession 8, Parts 2, 3, 4, 14 & 15, Plan 35R-11904, (Medora)		
<b>Zoning:</b>	Waterfront Residential (WR4)	Lake Joseph (Category 1 Lake)	Schedule: 27
<b>Hearing Date: Monday, March 10th, 2025 at 9:00 a.m.</b>			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



### Explanation of the Purpose and Effect:

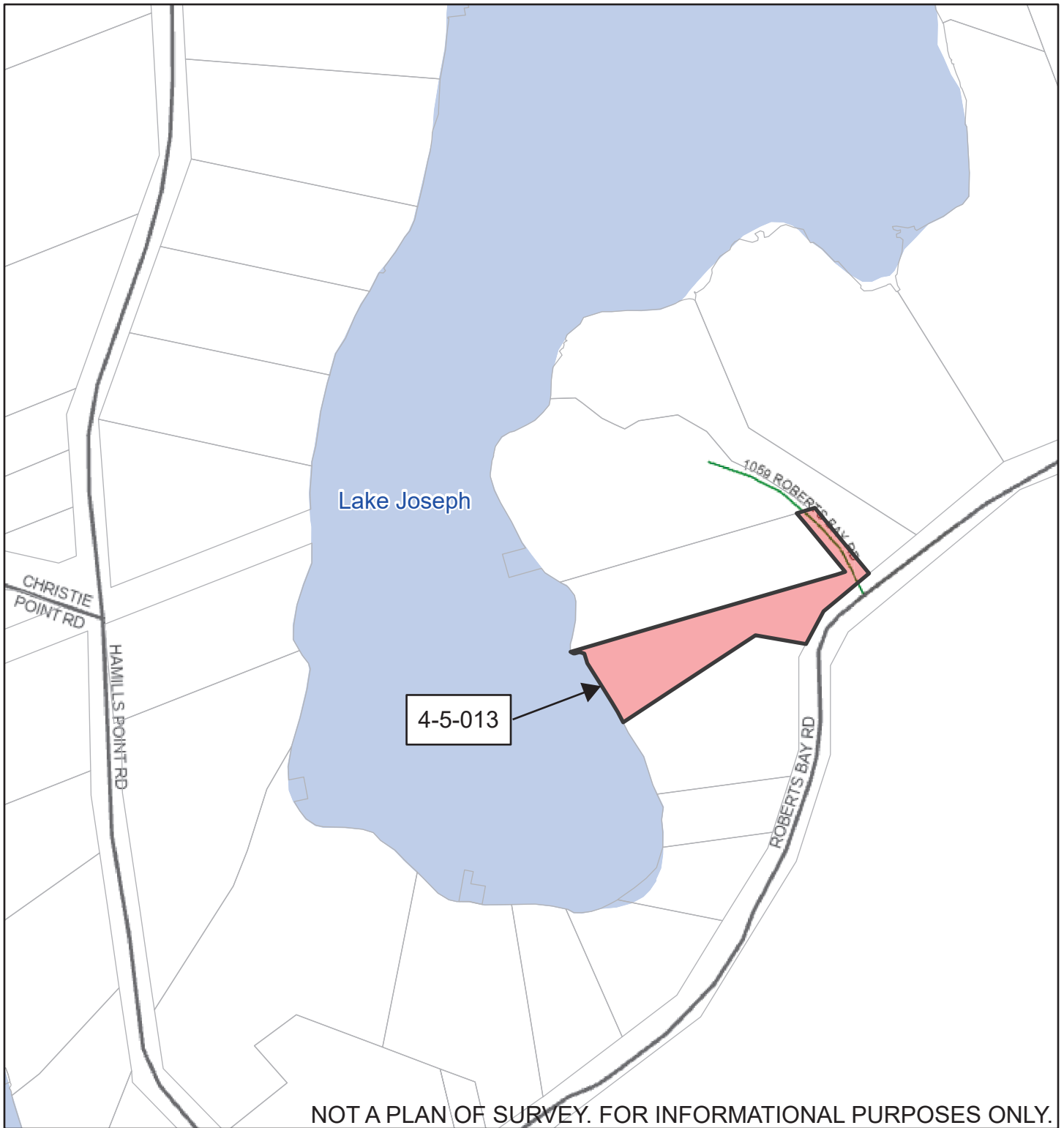
The applicant proposes to demolish two existing dwellings, a sleeping cabin, a shed, and a one-storey boathouse and dock. The applicant proposes to construct a new one-storey dwelling and a one-storey boathouse and dock. The applicant has recently demolished the two dwellings, sleeping cabin, shed, boathouse, and dock, and has initiated the construction of a new one-storey dwelling. The applicant proposes to construct a one-storey addition (garage) to the dwelling. The following is a summary of the requested variance:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3.6 & 4.1.3.7	Maximum Permitted Lot Coverage (Within 200 Feet From the High Water Mark)	10% (3,115.5 sq. ft)	11% (3,426 sq. ft)	1% (310.5 sq. ft)	Construct a Dwelling Addition








A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

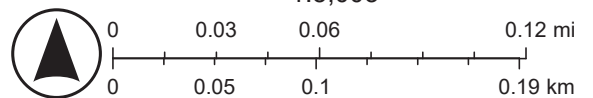


# Key Map, A-91/24 (Evans)



12/17/2024, 1:09:28 PM

- |  |  |
|--|--|
|  Parcel: Assessment    |  Road Network |
|  District Municipality |  Township     |
|  Area Municipality     |  Private      |
|  Geographic Township   |  |



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodastatyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Esri Community Maps Contributors, Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau.

For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**

## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka  
Lakes this 14th day of February, 2025.

Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)

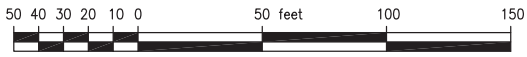




PART OF LOT 9, CONCESSION 8  
 GEOGRAPHIC TOWNSHIP OF MEDORA  
 TOWNSHIP OF MUSKOKA LAKES

DISTRICT MUNICIPALITY OF MUSKOKA

SCALE 1" = 50'

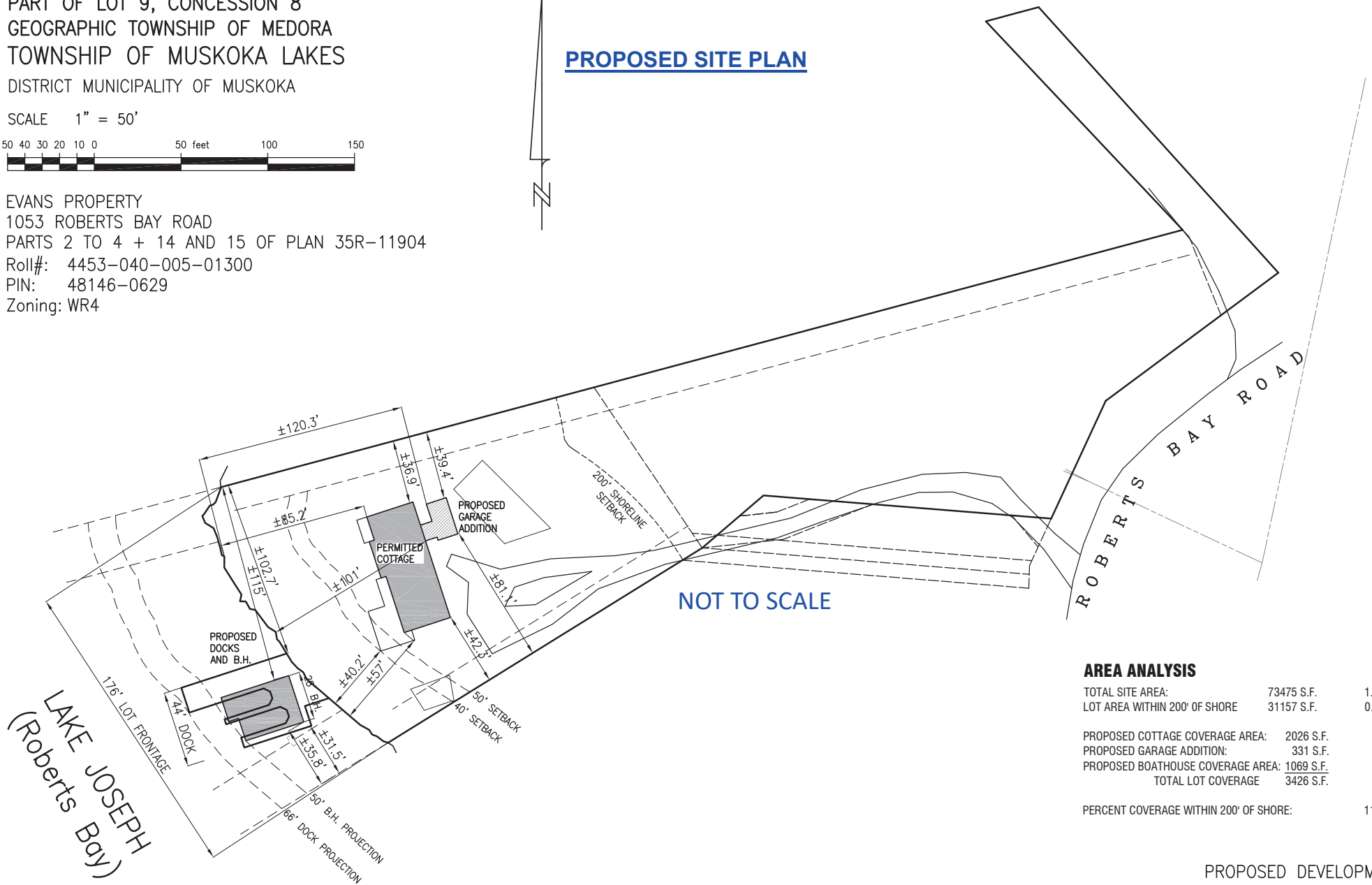


EVANS PROPERTY  
 1053 ROBERTS BAY ROAD  
 PARTS 2 TO 4 + 14 AND 15 OF PLAN 35R-11904  
 Roll#: 4453-040-005-01300  
 PIN: 48146-0629  
 Zoning: WR4

**PROPOSED SITE PLAN**



NOT TO SCALE



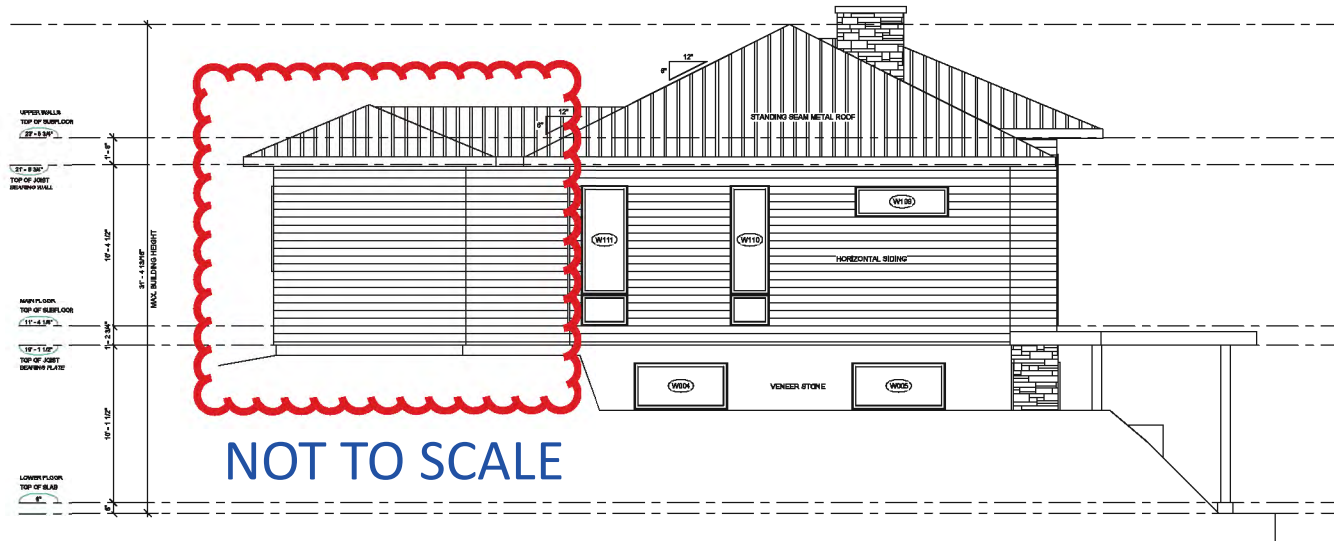
**AREA ANALYSIS**

TOTAL SITE AREA:	73475 S.F.	1.69 Ac.
LOT AREA WITHIN 200' OF SHORE	31157 S.F.	0.72 Ac.
PROPOSED COTTAGE COVERAGE AREA:	2026 S.F.	
PROPOSED GARAGE ADDITION:	331 S.F.	
PROPOSED BOATHOUSE COVERAGE AREA:	1069 S.F.	
TOTAL LOT COVERAGE	3426 S.F.	
PERCENT COVERAGE WITHIN 200' OF SHORE:		11.0%

PROPOSED DEVELOPMENT



# ELEVATIONS



FOR INFORMATIONAL PURPOSES ONLY

# ELEVATIONS



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