



1 Bailey Street  
Port Carling, ON P0B 1J0

E: [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) P: 705-765-3156 F: 705-765-6755

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: A-89/24**

**Roll No.: 5-3-008-01**

<b>Owner:</b>	Port Carling Golf & Country Club Gp Inc., 2201 Bristol Circle, Oakville, ON, L6H 0J8		
<b>Address &amp; Description:</b>	146 Medora Street Part of Lot 29, Concession 4, Parts 1 to 3, Plan 35R-15676, (Medora)		
<b>Zoning:</b>	Community – Commercial (C5)	Lake: Not Applicable	Schedule: 55
<b>Hearing Date: Monday, February 10th, 2025 at 9:00 a.m.</b>			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



### Explanation of the Purpose and Effect:

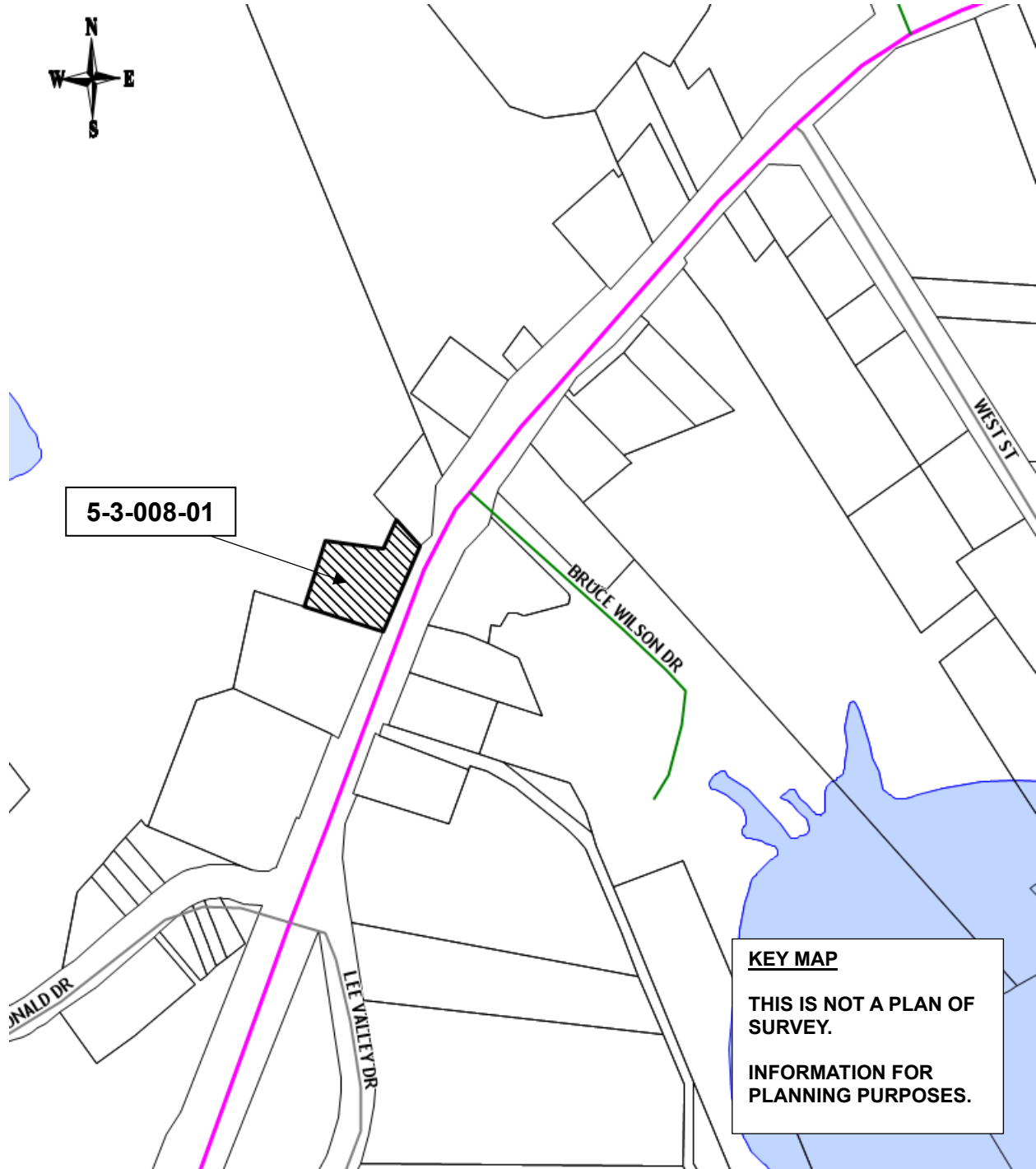
The applicant proposes to construct an addition to a converted dwelling. The following is a summary of the requested variance:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	3.24.1 b.	Minimum Required Setback from a Property Containing Municipal Sanitary Sewage Disposal Facilities (Sanitary Sewage Disposal Site)	660 ft.	<660 ft.	Within 660 ft.	Construct an Addition to a Converted Dwelling Within the Required Setback from a Property Containing Municipal Sanitary Sewage Disposal Facilities

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



## KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**



## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes  
this 16th day of January, 2025.

Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)





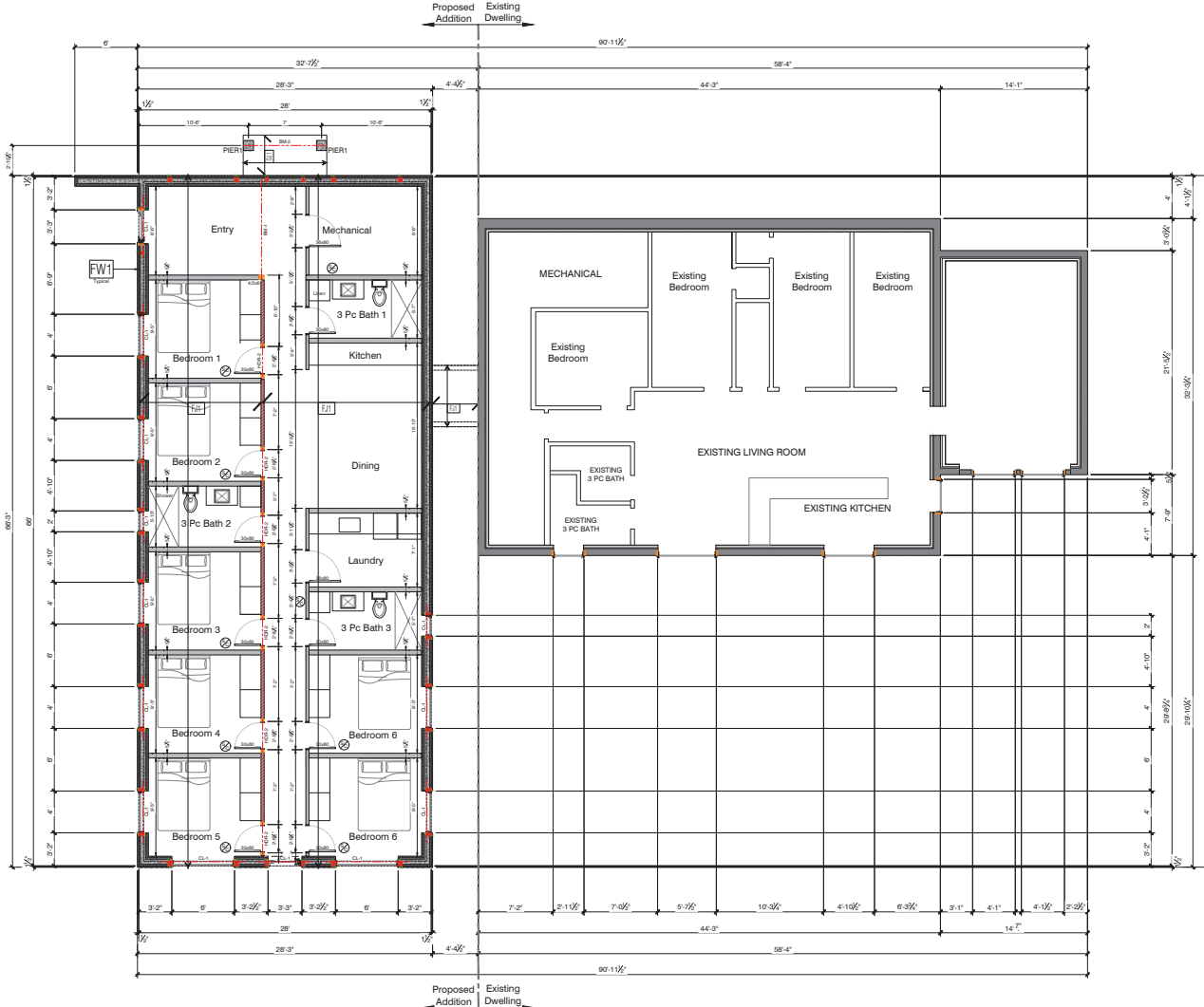
# FLOOR PLAN

NOT TO SCALE



**NORTH ECHO INC.**  
 DESIGN BUILD MAINTAIN  
 19 TAYLOR ROAD UNIT 2,  
 BRACEBRIDGE ONTARIO P1L 1S6  
 PHONE: 705-765-0900  
 EMAIL: KIP@NORTHECHO.CA  
 INDIVIDUAL BCIN: 38223  
 FIRM BCIN: 107803

STRUCTURAL ENGINEERING  
 PROVIDED BY:



## CONSTRUCTION ASSEMBLIES

### ICF WALL ASSEMBLY - BELOW GRADE

- FW1** **ABOVE GRADE**  
 VERTICAL PREFINISHED BOARD AND BATTEN SIDING ON 1X3 PF STRAPPING HORIZONTAL & VERTICAL @ 16" O.C. ATTACHED TO WEBS ON 6" CORE ICF WALL AMVIC PLUS R-30 OR SIMILAR ½" GYPSUM BOARD - TYPE C ON ALL EXPOSED ICF ABOVE CONCRETE SLAB
- BELOW GRADE**  
 DELTA-8 DRAIN DRAINBOARD OR EQUIVALENT DAMP-PROOFING MEMBRANE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS ON BLUESKIN OR EQUIVALENT WATERPROOFING MEMBRANE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS ON 6" CORE ICF WALL AMVIC PLUS R-30 OR SIMILAR C/W VERTICAL AND HORIZONTAL REINFORCEMENT AS PER ICF MANUFACTURES SPECIFICATIONS  
 PROVIDE ACRYLIC BASED PARPING @ ALL EXPOSED AREAS ABOVE GRADE

### WALL ASSEMBLY - INTERIOR LOAD BEARING

- W1** ½" GYPSUM BOARD - TYPE C - FINISHED AS PER CLIENT SPEC ON 2X4 SPF STUDS @ 16" O.C. C/W Sole & Sound INSULATION ON ½" GYPSUM BOARD - TYPE C - FINISHED AS PER CLIENT SPEC

### WALL ASSEMBLY - INTERIOR LOAD BEARING

- W3** ½" GYPSUM BOARD - TYPE C - FINISHED AS PER CLIENT SPEC ON 2X4 SPF STUDS @ 16" O.C. C/W Sole & Sound INSULATION ON ½" GYPSUM BOARD - TYPE C - FINISHED AS PER CLIENT SPEC

### INSULATED CONCRETE SLAB

- F1** 4" CONCRETE SLAB - W/ 6X6 W/M OR 10M BAR @ 12" E/W 2" MIN R12 POLYURETHANE SPRAY FOAM INSULATION CONTINUOUS 6 MIL VAPOR BARRIER ON 6" MIN ¾" CLEAR STONE ON BACKFILL W/ COMPACTED FREE DRAINING FILL

REMOVE ALL FROST SUSCEPTIBLE MATERIAL TO DEPTH BELOW GRADE OF 4'-6" MINIMUM

## STRUCTURAL NOTES

### BEAMS & LINTELS

- BM-1 4X2X12 NO.1&2 SPRUCE DROPPED
- BM-2 3X2X10 PT DROPPED
- CL-1 ICF LINTEL 2-15M BAR STIRRUPS @ 6" O.C. 22x8 SPF
- HDR-2

### JOISTS

- FJ1 2X12 NO. 1&2 SPF FLOOR JOISTS @ 16" O.C.
- DJ1 2X8 PT DECK JOISTS @ 16" O.C.

### CONCRETE PIERS

- PIER 1** GALV POST SADDLE EMBEDDED AND EPOKED INTO 12X12 POURED CONCRETE PIER W/ 2 VERTICAL 15M BAR OR 12" BULL-NOSE PIER BLOCK FILLED SOLID W/ CONCRETE C/W 2 VERTICAL 15M BAR ON 2400X30 CONCRETE FOOTING W/ 15M BAR BOTH DIRECTIONS @ 6" O.C. ON NATIVE UNDISTURBED MATERIAL MINIMUM 4'-6" BELOW GRADE OR 18X18X4 CONCRETE FOOTING PINNED TO BEDROCK

- DENOTES POST OR POINT LOAD ABOVE
- ⊗ INTERCONNECTED BOND & CARBON MONOXIDE DETECTOR W/ STROBE LIGHT

1.	CLIENT REVIEW	23/03/31
2.	Planning Review	24/03/13
3.	Client Review	24/08/15
4.	Client Review	24/09/10
5.	Structural Review	24/10/16

NO: ISSUE/REVISION DATE

PROJECT:  
**Port Carling Golf and Country Club**

LOCATION:  
**146 MEDORA ST  
 UNIT 1  
 PORT CARLING, ON**

DRAWING TITLE:  
**Lower Level Floor Plan**

DRAWN BY: B.B.  
 CHECKED BY: K.P.  
 SCALE: 3/4" = 1'-0"  
 PRINT DATE: Oct 16 2024

**A2.2**

FOR INFORMATIONAL PURPOSES ONLY

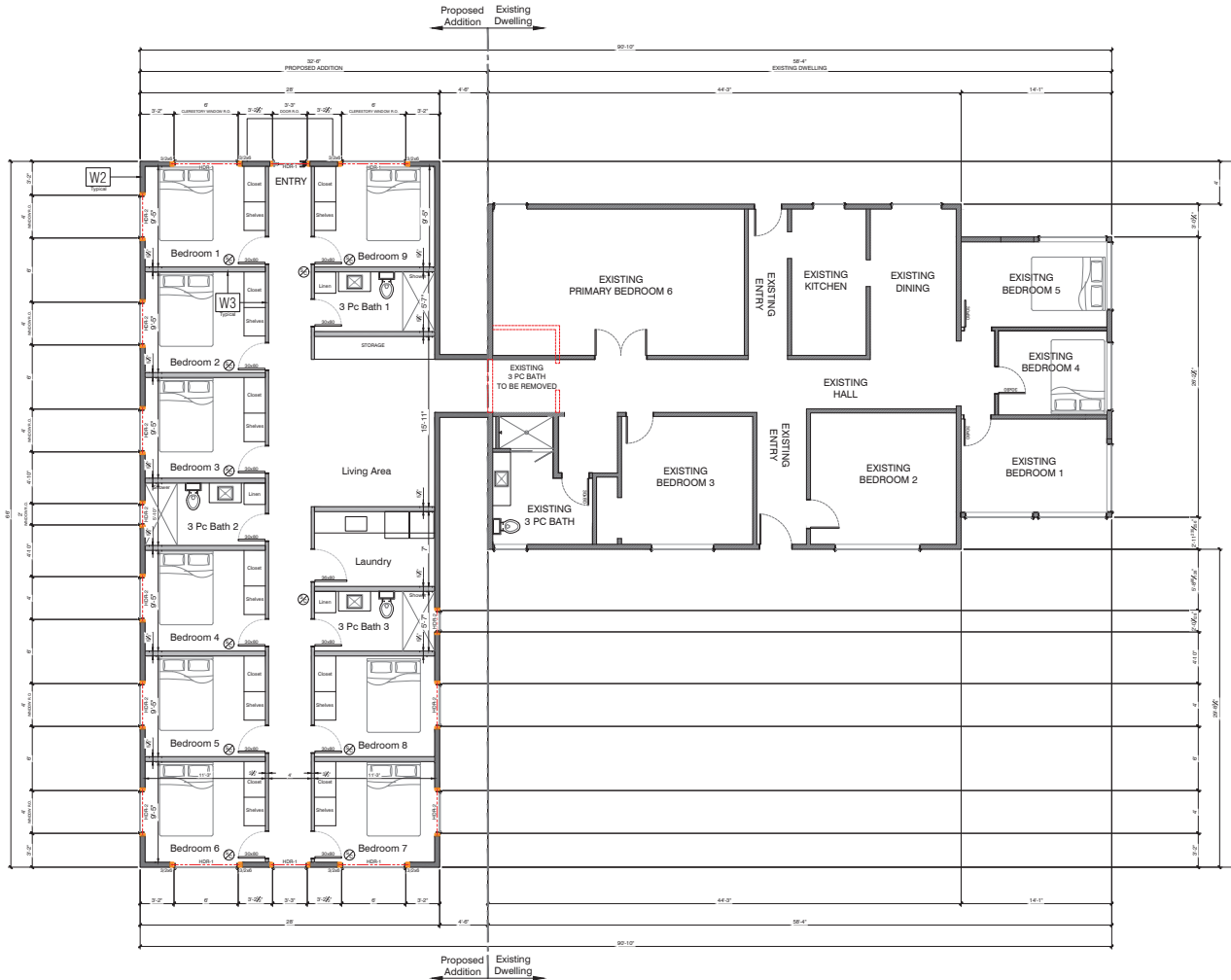
# FLOOR PLAN

NOT TO SCALE



**NORTH ECHO INC.**  
 DESIGN BUILD MAINTAIN  
 19 TAYLOR ROAD UNIT 2,  
 BRACEBRIDGE ONTARIO P1L 1S6  
 PHONE: 705-765-0900  
 EMAIL: KIP@NORTHECHO.CA  
 INDIVIDUAL BCIN: 38223  
 FIRM BCIN: 107803

STRUCTURAL ENGINEERING  
 PROVIDED BY:



## CONSTRUCTION ASSEMBLIES

### NEW MAIN LEVEL WALLS

**W2** VERTICAL PREFINISHED BOARD AND BATTEN SIDING  
 ON 1X3 SPF STRAPPING HORIZONTAL & VERTICAL, ALIGNED W/ STUDS @ 16" O.C. ON  
 2X6 SYSTEM SHEATHING R-4 INSTALLED AS PER MANUFACTURER SPEC ON  
 2X6 NO. 1&2 SPF STUDS @ 16" O.C.  
 C/W MIN R24 BIB CELLULOSE INSULATION ON  
 CONTINUOUS 6 MIL POLY VAPOR BARRIER ON  
 1/2" GYPSUM BOARD - TYPE X - FINISHED AS PER CLIENT SPEC

### WALL ASSEMBLY - INTERIOR

**W3** 1/2" GYPSUM BOARD - TYPE X - FINISHED AS PER CLIENT SPEC ON  
 2X4 OR 2X6 SPF STUDS @ 16" O.C. SEE LAYOUT  
 C/W SOUND DAMPENING INSULATION AS REQUIRED ON  
 1/2" GYPSUM BOARD - TYPE X - FINISHED AS PER CLIENT SPEC

### MAIN LEVEL FLOOR

**F1** FINISHED FLOORING AS PER INTERIOR FINISH SCHEDULE ON  
 3/4" PLYWOOD SHEATHING OR EQUIVALENT GLUED AND SCREWED ON  
 2X12 NO. 1&2 SPF FLOOR JOISTS @ 16" O.C.  
 C/W Safe & Sound INSULATION AS REQUIRED INSTALLED @ U/S SHEATHING ON  
 R2 AIRSPACE (MECHANICAL CHASE) ON  
 2X4 CEILING JOISTS @ 16" O.C. SUPPORTED W/ 2X4 LEGS @ 4" O.C. ON  
 3/4" GYPSUM BOARD - TYPE X - FINISHED AS PER CLIENT SPEC

PROVIDE MINI R-21 2LB POLYURETHANE SPRAY FOAM INSULATION  
 @ EXTERIOR RIM BOARD, EXPOSED FOAM INSULATION TO BE PROTECTED  
 W/ ACOUSTIC INSULATION & OR 1/2" PLYWOOD SHEATHING

### DECK ASSEMBLY

**F2** 2X6 PT DECKING TO BE CONFIRMED ON  
 2X6 PRESSURE TREATED DECK JOISTS @ 16" O.C.  
 PROVIDE SOLID BLOCKING @ ALL POINT LOAD LOCATIONS  
 PROVIDE MIDSPAN BLOCKING @ 6'-11" MAXIMUM SPAN

## STRUCTURAL NOTES

### BEAMS & LINTELS

HDR-1 2X2X6 NO. 1&2 SPF  
 HDR-2 2X2X8 NO. 1&2 SPF  
 INTERCONNECTED SMOKE & CARBON MONOXIDE DETECTION W/ STROBE LIGHT

1. CLIENT REVIEW	23/03/31
2. Planning Review	24/03/13
3. Client Review	24/08/15
4. Client Review	24/09/10
5. Structural Review	24/10/16

NO. ISSUE/REVISION DATE

PROJECT:  
**Port Carling Golf and Country Club**

LOCATION:  
**146 MEDORA ST  
 UNIT 1  
 PORT CARLING, ON**

DRAWING TITLE:

**Main Level Floor Plan**

DRAWN BY: B.B.  
 CHECKED BY: K.P.  
 SCALE: 3/4" = 1'-0"  
 PRINT DATE: Oct 16 2024

**A2.3**

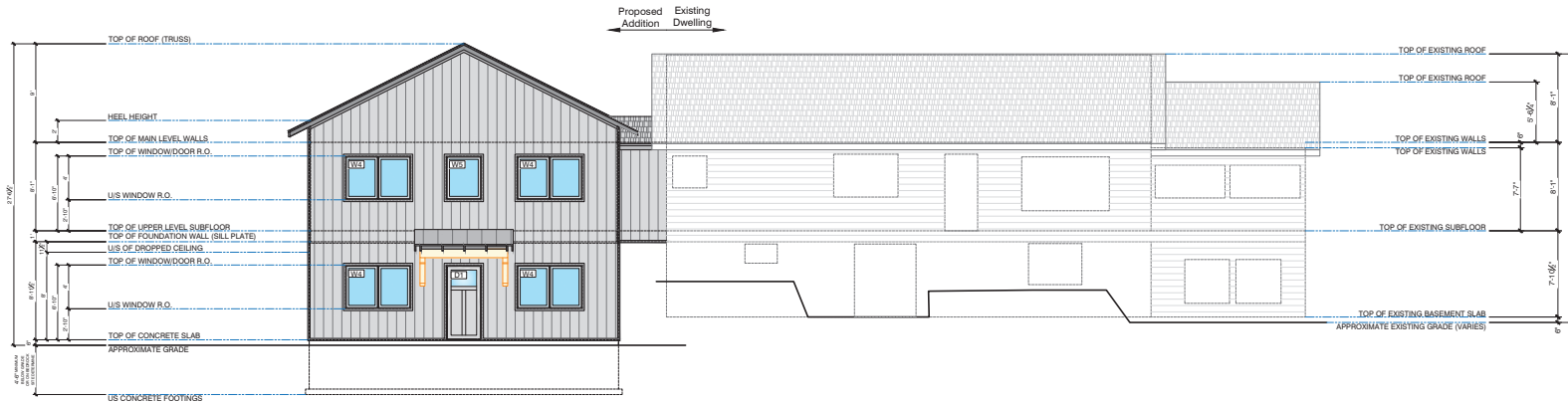
# ELEVATIONS

NOT TO SCALE



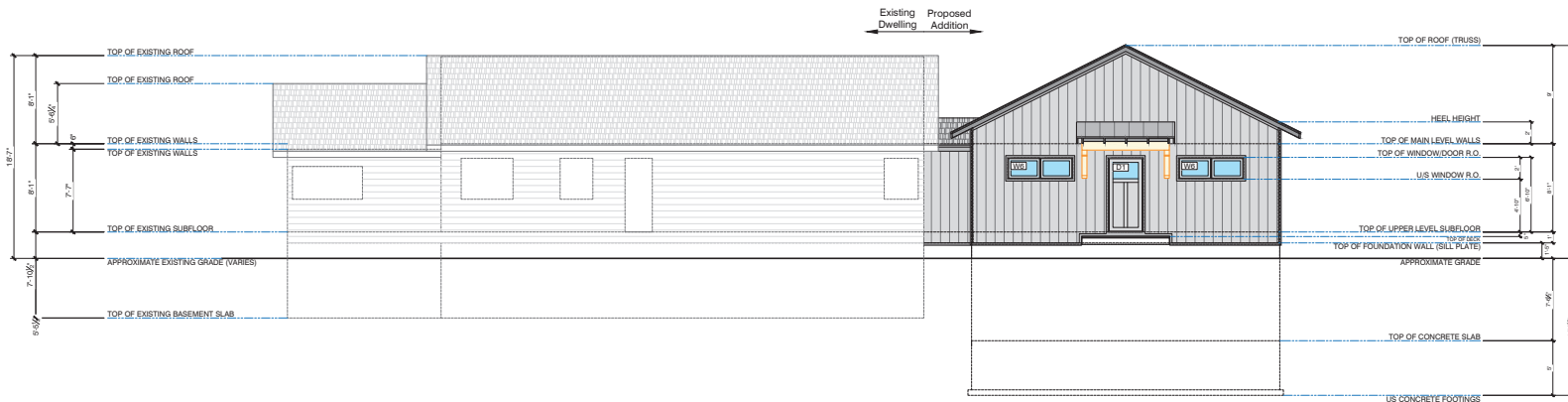
**NORTH ECHO INC.**  
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 19 TAYLOR ROAD UNIT 2,  
 BRACEBRIDGE ONTARIO P1L 1S6  
 PHONE: 705-765-0900  
 EMAIL: KIP@NORTHECHO.CA  
 INDIVIDUAL BCIN: 38223  
 FIRM BCIN: 107803

STRUCTURAL ENGINEERING  
 PROVIDED BY:



## NORTH ELEVATION

SCALE: 3/16" = 1'-0"



## SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

- |                      |          |
|----------------------|----------|
| 1. CLIENT REVIEW     | 23/03/31 |
| 2. Planning Review   | 24/03/13 |
| 3. Client Review     | 24/08/15 |
| 4. Client Review     | 24/09/10 |
| 5. Structural Review | 24/10/16 |

NO. ISSUE/REVISION DATE

PROJECT:  
**Port Carling Golf and Country Club**

LOCATION:  
**146 MEDORA ST  
 UNIT 1  
 PORT CARLING, ON**

DRAWING TITLE:

**Elevations**

FOR INFORMATIONAL PURPOSES ONLY

DRAWN BY: B.B.  
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**A3.1**



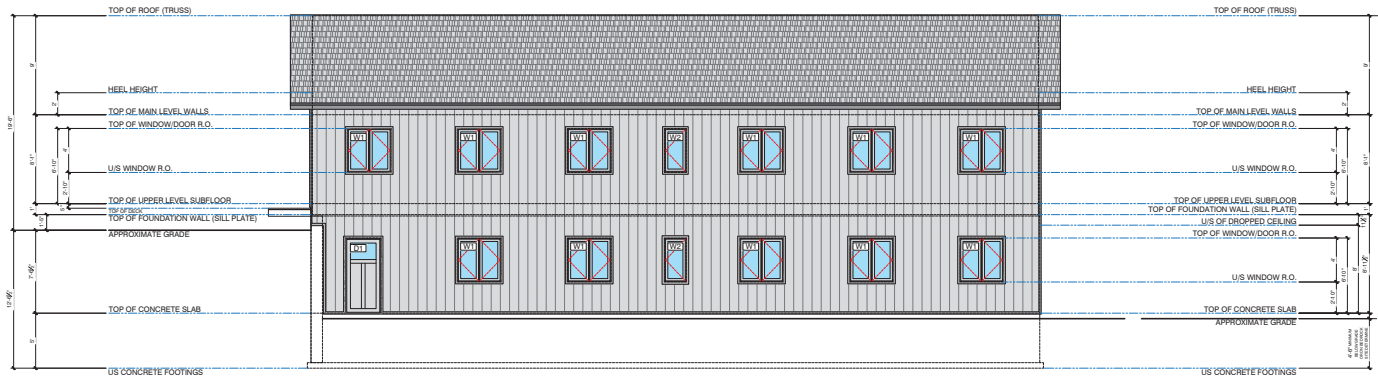
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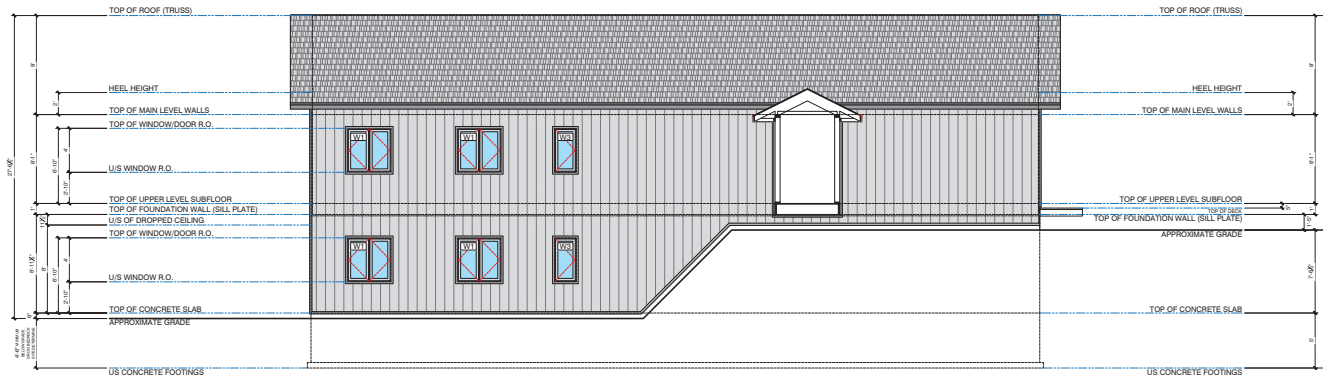


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STRUCTURAL ENGINEERING  
 PROVIDED BY:



**EAST ELEVATION**  
 SCALE: 3/16" = 1'-0"



**WEST ELEVATION**  
 SCALE: 3/16" = 1'-0"

1. CLIENT REVIEW	23/03/31
2. Planning Review	24/03/13
3. Client Review	24/08/15
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NO. ISSUE/REVISION DATE

PROJECT:  
**Port Carling Golf and Country Club**

LOCATION:  
**146 MEDORA ST  
 UNIT 1  
 PORT CARLING, ON**

DRAWING TITLE:  
**Elevations**

FOR INFORMATIONAL PURPOSES ONLY

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**A3.2**