



1 Bailey Street  
Port Carling, ON P0B 1J0

E: [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) P: 705-765-3156 F: 705-765-6755

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

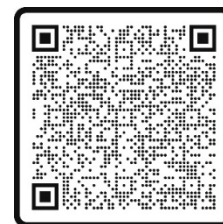
### THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: A-87/24**  
**Roll No.: 4-17-060**

<b>Owner:</b>	Patricia Sellers, 36 Birch Avenue, Toronto, ON, M4V 0B5		
<b>Address &amp; Description:</b>	1085 Sagamo Boulevard Part of Lot 35, Concession 12, Lot 56, Plan 32, Part 1, Plan 35R-222238, Parts 4, 5, and 7, Plan 35R-24944, (Medora)		
<b>Zoning:</b>	Waterfront Residential (WR1)	Lake Rosseau (Category 1 Lake)	Schedule: 22
<b>Hearing Date: Monday, February, 10th, 2024 at 9:00 a.m.</b>			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



#### **Explanation of the Purpose and Effect:**

The applicant proposes to demolish a one-storey dwelling and a two-storey boathouse and docks. The applicant proposes to construct a new two-storey dwelling and a new two-storey boathouse with a sleeping cabin in the upper level, and a dock. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3 & 4.1.3.6	Maximum Permitted Lot Coverage Over the Area of the Entire Lot	10% (3,097.5 sq. ft)	14.7% (4,540 sq. ft)	4.7% (1,442.5 sq. ft)	Construct a Two-Storey Dwelling and Two-Storey Boathouse Exceeding the Maximum Permitted Lot Coverage Requirement



Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
B	4.1.3 & 4.1.3.7	Maximum Permitted Lot Coverage Within 200 ft. of the High Water Mark	10% (3,097.3 sq. ft)	14.7% (4,540 sq. ft)	4.7% (1,442.7 sq. ft)	Construct a Two-Storey Dwelling and Two-Storey Boathouse Exceeding the Maximum Permitted Lot Coverage Requirement within 200 ft. of the High Water Mark
C	4.1.3 & 4.1.3.5	Minimum Required Front Yard Setback	50 ft.	24 ft.	26 ft.	Construct a Two-Storey Dwelling Within the Required Front Yard Setback
D	4.1.7 & 4.1.7.12	Maximum Permitted Cumulative Dock Width	51 ft. (25%)	110 ft. (54%)	59 ft. (29%)	Construct an Over-width Dock
E	4.1.7 & 4.1.7.10	Minimum Required Lot Frontage for a Two Storey Boathouse	300 ft.	204 ft.	96 ft.	Construct a Two Storey Boathouse on a Lot with Less Than 300 Feet of Frontage in Accordance with Zoning Provisions Applicable to a Lot with 300 Feet of Lot Frontage
F	4.1.7 & 4.1.7.7	Maximum Permitted Size of Second Storey of a Two-Storey Boathouse	650 sq. ft	756 sq. ft	156 sq. ft	Construct a Two-Storey Boathouse with an Oversize Second Storey
G	4.1.7	Maximum Permitted Second Storey Boathouse Length	35 ft.	47 ft.	12 ft.	Construct a Two-Storey Boathouse with an Over Length Second Storey

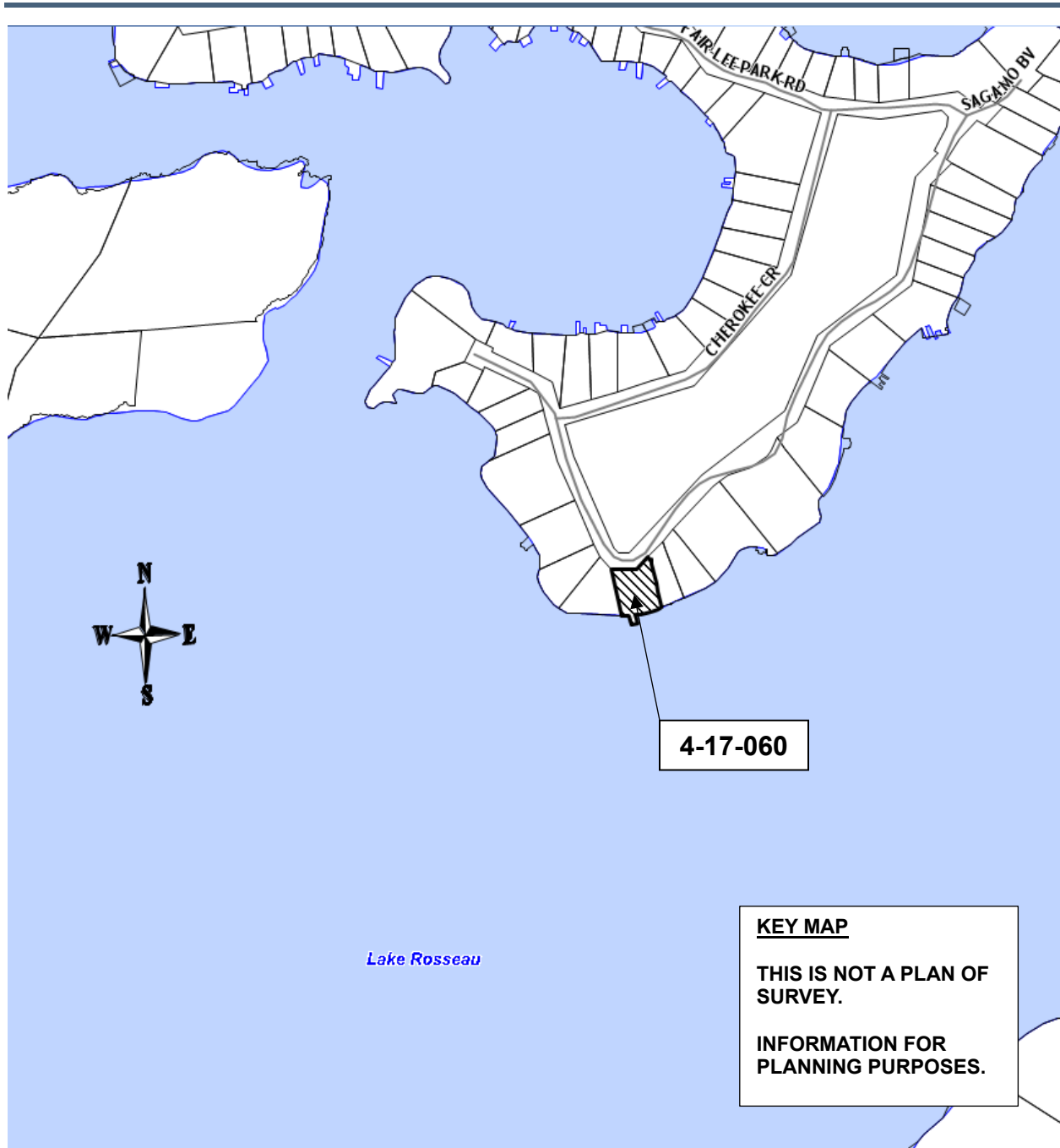


Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
H	4.1.7 & 4.1.7.12 c.	Maximum Permitted Cumulative Single-Storey Boathouse Width	33 ft.	55 ft.	22 ft.	Construct w a Two-Storey Boathouse with an Over Width First Storey
J	4.1.7 & 4.1.7.11	Minimum Required Side Yard Setback (Dock)	15 ft.	8 ft.	7 ft.	Construct a Dock within the Required Side Yard Setback

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



## KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**



## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes  
this 21<sup>st</sup> day of January, 2025.

Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)

















