



1 Bailey Street  
Port Carling, ON P0B 1J0

E: [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) P: 705-765-3156 F: 705-765-6755

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-86/24

Roll No.: 2-24-043-06

<b>Owners:</b>	Antonios Wyganowski Xanthis and Suenanda Ramdat, 1314 Hemlock Point Road, RR 2, Port Carling, ON, P0B 1J0		
<b>Address &amp; Description:</b>	No Civic Address – Rostrevor Road Part of Lot 27, Concession 10, Part 6, Plan 35R-14510		
<b>Zoning:</b>	Rural Zone (RU1)	Lake: Not Applicable	Schedule: 22
<b>Hearing Date: Monday, January 13<sup>th</sup>, 2025 at 9:00 a.m.</b>			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



### Explanation of the Purpose and Effect:

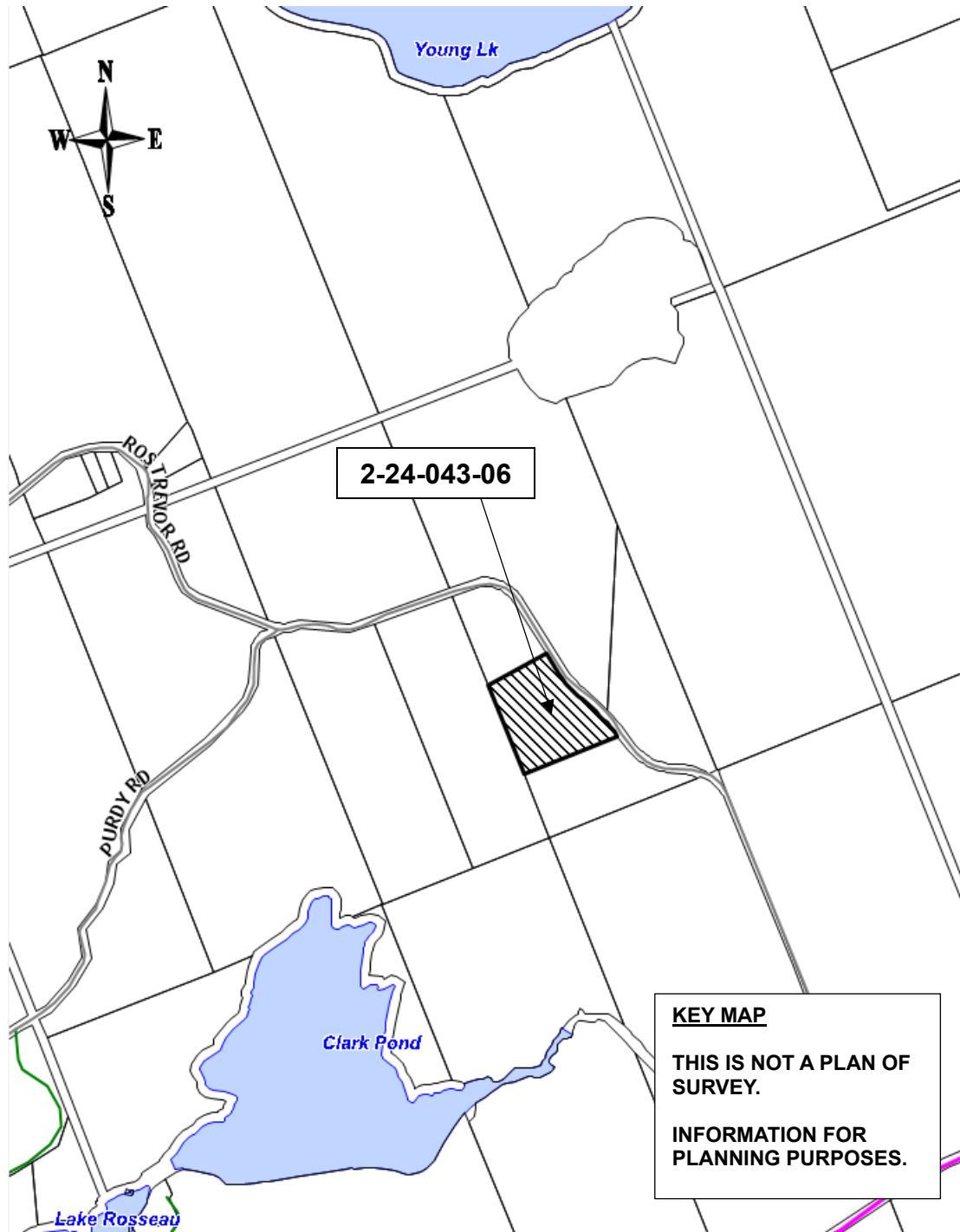
The applicants propose to construct a two-storey dwelling and a two-storey accessory private garage. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	6.1.3	Maximum Permitted Height of an Accessory Building	20 ft.	24.5 ft.	4.5 ft.	Construct a Two-Storey Accessory Private Garage

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



## KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**



## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes  
this 19th day of December, 2024.

Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)



# SITE PLAN



winstone@winstonedesign.com  
703.786.8227  
www.winstonedesign.com  
B20200005 FIRM: B20200005

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### Area Calculations

BUILDING (SIZES)	AREA (SQFT)	AREA (sq ft)
<b>BUILDING (NEW)</b>	<b>AREA (SQFT)</b>	<b>AREA (sq ft)</b>
HOUSE	+ 4,000.00	+ 365.00
COVERED PORCH (REAR)	+ 1,000.00	+ 100.00
COVERED PORCH (FRONT)	+ 1,000.00	+ 100.00
COVERED PORCH (SIDE)	+ 950.00	+ 90.00
SHOP	+ 1,400.00	+ 130.00
SHOP OVERHANG (COVERED)	+ 1,400.00	+ 134.00
<b>TOTAL FOOTPRINT</b>	<b>+ 6,970.00 (L.50%)</b>	<b>+ 648.00 (L.50%)</b>

<b>LOT INFO:</b>	
PROPERTY AREA	+ 10,940 (442,450 sq ft) (10.15 ac)
ALLOWABLE COVERAGE PROPERTY	+ 3,735 (36,465 sq ft) (33.33%)

COORDINATES: 45 185500L, 76 544655S  
 TOLL # 44020020404020  
 LEGAL: LOT 27 CONJ 34817  
 Zoning: RLS (Rural)

**ADDRESS:**  
 1149 Rostrevor Road  
 Windermere, ON  
 POB 840

### ZONING INFORMATION

TOWNSHIP	Municipal/Local
ZONING	RLS
LAND CLASS	N/A
LAND USE	N/A

### COTTAGE/HOUSE BYLAW INFORMATION

MINIMUM LOT AREA	600.00 (55.0m <sup>2</sup> )
MINIMUM LOT FRONTAGE	60.00 (5.5m)
SETBACKS	
FRONT W/ID	50.00 (4.5m)
REAR W/ID	20.00 (1.8m)
INTERIOR SIDE W/ID	20.00 (1.8m)
EXTERIOR SIDE W/ID	20.00 (1.8m)
MINIMUM LOT COVERAGE	2%
MAXIMUM HEIGHT (PRINCIPAL)	35.00 (3.0m)
MAXIMUM HEIGHT (ACCESSORY)	20.00 (1.8m)

### DOCK BYLAW INFORMATION

MAX DOCK LENGTH	N/A
MAX DOCK WIDTH	N/A
SEE W/ID SETBACK	N/A

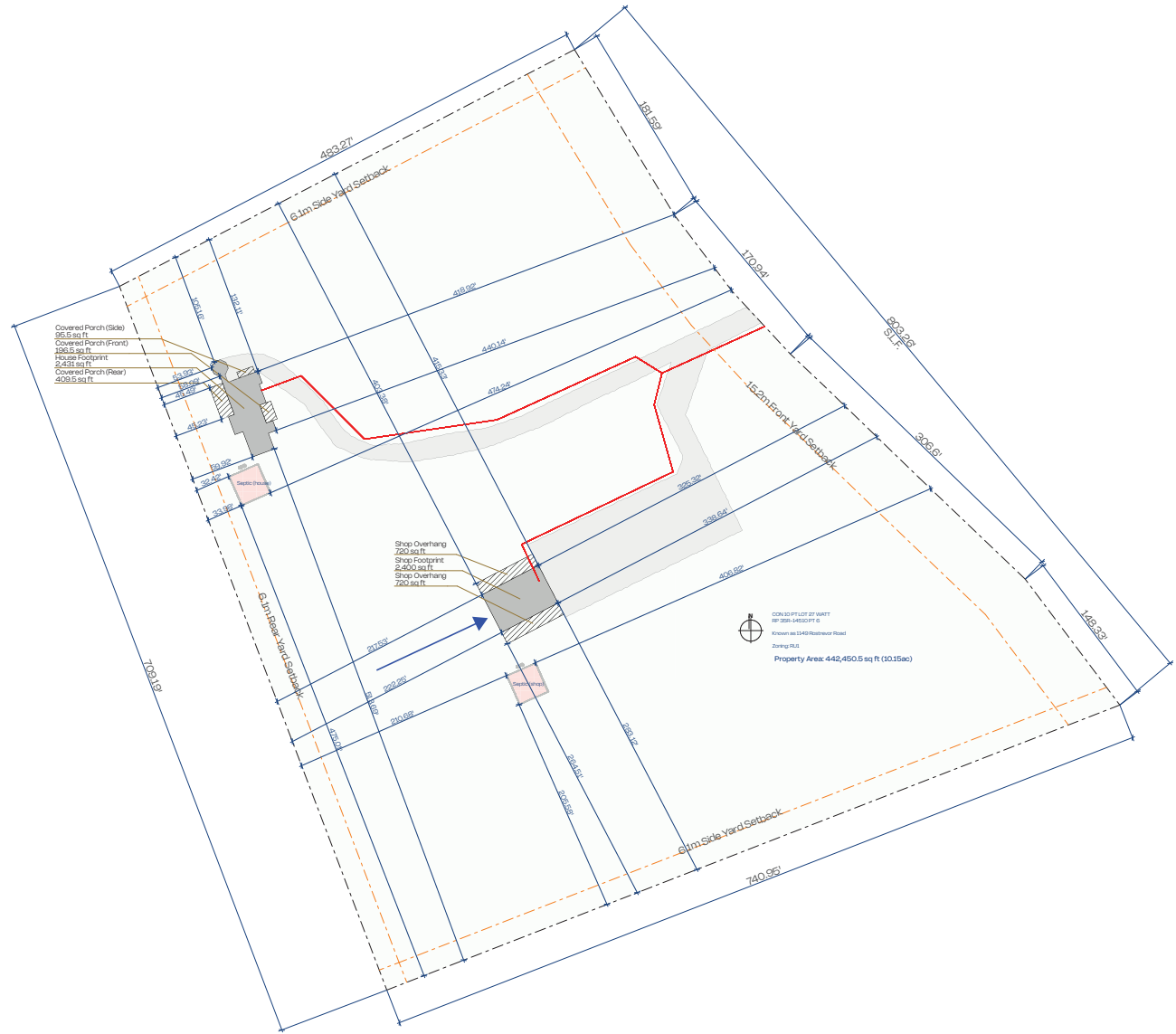
### BOATHOUSE (FIRST STORY) BYLAW INFORMATION

SEE SETBACK	N/A
MAX LENGTH	N/A
MAX WIDTH	N/A
MAX HEIGHT	N/A

### BOATHOUSE (SECOND STORY) BYLAW INFORMATION

SEE SETBACK	N/A
MAX LENGTH	N/A
MAX WIDTH	N/A - 30.00 (300.0m)
MAX FLOOR AREA	N/A
COVERED AREA ALLOWED	NO
MAX COVERED AREA	N/A
MAX HEIGHT	N/A

NOT TO SCALE



1 Site Plan  
 Scale: 1" = 50'

SITE PLAN LEGEND	
LINE	NOTES
---	PROPERTY LINE
---	SETBACK BOUNDARY
---	DOOR (DOOR) SETBACK
---	IRISH WATER MARK
---	WATERLINE
---	HYDROLINE
---	GASLINE
---	BUILDING TO BE DEMOLISHED
---	EXISTING BUILDING
---	NEW BUILDING
---	COVERED AREA
---	DOCK
---	DECK
---	SEPTIC
---	SITE
---	DRIVEWAY/ROADWAY
---	WATER

Rostrevor Road House

NO.	DATE	DESCRIPTION
1	01.Aug.2024	Revised - Sub for Review (PO)
2	01.Aug.2024	Original Issue from Site Plan (PO)
3	01.Oct.2024	Final Review - Issues for Engineering (PO)

ENGINEER (NAME AND SIGNATURE)

PROJECT NUMBER:  
**24.004a**

PROJECT DATE:  
**01.Aug.2024**

SITE ADDRESS:  
 1149 Rostrevor Road  
 Windermere, ON, POB 840

Site Plan

SHEET NO.  
**A0.2**



# Floor Plans & Elevations



## Rostrevor Garage

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE



mike@winstonedesign.com  
705.718.8287  
www.winstonedesign.com  
BCIN:108268 FIRM BCIN:127251

**SITE ADDRESS:**  
1149 Rostrevor Road  
Windermere, ON, P0B 1P0

**CLIENT:**  
Antoniade Xanthis Sue  
Riamdat





# Rostrevor Garage

No.	Date	Description
1	01.Aug.2024	Final Concept - Shared for Review (RFP)
2	02.Sep.2024	Revisions from RFP - Concept Selection
3	03.Oct.2024	Architectural drawings for permit
4	04.Nov.2024	Structural engineering for foundation
5	05.Dec.2024	Final construction documents (RFP)
6	06.Jan.2025	Construction start
7	07.Feb.2025	Foundation completed
8	08.Mar.2025	Foundation completed
9	09.Apr.2025	Foundation completed
10	10.May.2025	Foundation completed
11	11.Jun.2025	Foundation completed
12	12.Jul.2025	Foundation completed
13	13.Aug.2025	Foundation completed
14	14.Sep.2025	Foundation completed
15	15.Oct.2025	Foundation completed
16	16.Nov.2025	Foundation completed
17	17.Dec.2025	Foundation completed
18	18.Jan.2026	Foundation completed
19	19.Feb.2026	Foundation completed
20	20.Mar.2026	Foundation completed
21	21.Apr.2026	Foundation completed
22	22.May.2026	Foundation completed
23	23.Jun.2026	Foundation completed
24	24.Jul.2026	Foundation completed
25	25.Aug.2026	Foundation completed
26	26.Sep.2026	Foundation completed
27	27.Oct.2026	Foundation completed
28	28.Nov.2026	Foundation completed
29	29.Dec.2026	Foundation completed
30	30.Jan.2027	Foundation completed
31	31.Feb.2027	Foundation completed
32	01.Mar.2027	Foundation completed
33	02.Apr.2027	Foundation completed
34	03.May.2027	Foundation completed
35	04.Jun.2027	Foundation completed
36	05.Jul.2027	Foundation completed
37	06.Aug.2027	Foundation completed
38	07.Sep.2027	Foundation completed
39	08.Oct.2027	Foundation completed
40	09.Nov.2027	Foundation completed
41	10.Dec.2027	Foundation completed
42	11.Jan.2028	Foundation completed
43	12.Feb.2028	Foundation completed
44	13.Mar.2028	Foundation completed
45	14.Apr.2028	Foundation completed
46	15.May.2028	Foundation completed
47	16.Jun.2028	Foundation completed
48	17.Jul.2028	Foundation completed
49	18.Aug.2028	Foundation completed
50	19.Sep.2028	Foundation completed
51	20.Oct.2028	Foundation completed
52	21.Nov.2028	Foundation completed
53	22.Dec.2028	Foundation completed
54	23.Jan.2029	Foundation completed
55	24.Feb.2029	Foundation completed
56	25.Mar.2029	Foundation completed
57	26.Apr.2029	Foundation completed
58	27.May.2029	Foundation completed
59	28.Jun.2029	Foundation completed
60	29.Jul.2029	Foundation completed
61	30.Aug.2029	Foundation completed
62	31.Sep.2029	Foundation completed
63	01.Oct.2029	Foundation completed
64	02.Nov.2029	Foundation completed
65	03.Dec.2029	Foundation completed
66	04.Jan.2030	Foundation completed
67	05.Feb.2030	Foundation completed
68	06.Mar.2030	Foundation completed
69	07.Apr.2030	Foundation completed
70	08.May.2030	Foundation completed
71	09.Jun.2030	Foundation completed
72	10.Jul.2030	Foundation completed
73	11.Aug.2030	Foundation completed
74	12.Sep.2030	Foundation completed
75	13.Oct.2030	Foundation completed
76	14.Nov.2030	Foundation completed
77	15.Dec.2030	Foundation completed
78	16.Jan.2031	Foundation completed
79	17.Feb.2031	Foundation completed
80	18.Mar.2031	Foundation completed
81	19.Apr.2031	Foundation completed
82	20.May.2031	Foundation completed
83	21.Jun.2031	Foundation completed
84	22.Jul.2031	Foundation completed
85	23.Aug.2031	Foundation completed
86	24.Sep.2031	Foundation completed
87	25.Oct.2031	Foundation completed
88	26.Nov.2031	Foundation completed
89	27.Dec.2031	Foundation completed
90	28.Jan.2032	Foundation completed
91	29.Feb.2032	Foundation completed
92	01.Mar.2032	Foundation completed
93	02.Apr.2032	Foundation completed
94	03.May.2032	Foundation completed
95	04.Jun.2032	Foundation completed
96	05.Jul.2032	Foundation completed
97	06.Aug.2032	Foundation completed
98	07.Sep.2032	Foundation completed
99	08.Oct.2032	Foundation completed
100	09.Nov.2032	Foundation completed
101	10.Dec.2032	Foundation completed
102	11.Jan.2033	Foundation completed
103	12.Feb.2033	Foundation completed
104	13.Mar.2033	Foundation completed
105	14.Apr.2033	Foundation completed
106	15.May.2033	Foundation completed
107	16.Jun.2033	Foundation completed
108	17.Jul.2033	Foundation completed
109	18.Aug.2033	Foundation completed
110	19.Sep.2033	Foundation completed
111	20.Oct.2033	Foundation completed
112	21.Nov.2033	Foundation completed
113	22.Dec.2033	Foundation completed
114	23.Jan.2034	Foundation completed
115	24.Feb.2034	Foundation completed
116	25.Mar.2034	Foundation completed
117	26.Apr.2034	Foundation completed
118	27.May.2034	Foundation completed
119	28.Jun.2034	Foundation completed
120	29.Jul.2034	Foundation completed
121	30.Aug.2034	Foundation completed
122	31.Sep.2034	Foundation completed
123	01.Oct.2034	Foundation completed
124	02.Nov.2034	Foundation completed
125	03.Dec.2034	Foundation completed
126	04.Jan.2035	Foundation completed
127	05.Feb.2035	Foundation completed
128	06.Mar.2035	Foundation completed
129	07.Apr.2035	Foundation completed
130	08.May.2035	Foundation completed
131	09.Jun.2035	Foundation completed
132	10.Jul.2035	Foundation completed
133	11.Aug.2035	Foundation completed
134	12.Sep.2035	Foundation completed
135	13.Oct.2035	Foundation completed
136	14.Nov.2035	Foundation completed
137	15.Dec.2035	Foundation completed
138	16.Jan.2036	Foundation completed
139	17.Feb.2036	Foundation completed
140	18.Mar.2036	Foundation completed
141	19.Apr.2036	Foundation completed
142	20.May.2036	Foundation completed
143	21.Jun.2036	Foundation completed
144	22.Jul.2036	Foundation completed
145	23.Aug.2036	Foundation completed
146	24.Sep.2036	Foundation completed
147	25.Oct.2036	Foundation completed
148	26.Nov.2036	Foundation completed
149	27.Dec.2036	Foundation completed
150	28.Jan.2037	Foundation completed
151	29.Feb.2037	Foundation completed
152	01.Mar.2037	Foundation completed
153	02.Apr.2037	Foundation completed
154	03.May.2037	Foundation completed
155	04.Jun.2037	Foundation completed
156	05.Jul.2037	Foundation completed
157	06.Aug.2037	Foundation completed
158	07.Sep.2037	Foundation completed
159	08.Oct.2037	Foundation completed
160	09.Nov.2037	Foundation completed
161	10.Dec.2037	Foundation completed
162	11.Jan.2038	Foundation completed
163	12.Feb.2038	Foundation completed
164	13.Mar.2038	Foundation completed
165	14.Apr.2038	Foundation completed
166	15.May.2038	Foundation completed
167	16.Jun.2038	Foundation completed
168	17.Jul.2038	Foundation completed
169	18.Aug.2038	Foundation completed
170	19.Sep.2038	Foundation completed
171	20.Oct.2038	Foundation completed
172	21.Nov.2038	Foundation completed
173	22.Dec.2038	Foundation completed
174	23.Jan.2039	Foundation completed
175	24.Feb.2039	Foundation completed
176	25.Mar.2039	Foundation completed
177	26.Apr.2039	Foundation completed
178	27.May.2039	Foundation completed
179	28.Jun.2039	Foundation completed
180	29.Jul.2039	Foundation completed
181	30.Aug.2039	Foundation completed
182	31.Sep.2039	Foundation completed
183	01.Oct.2039	Foundation completed
184	02.Nov.2039	Foundation completed
185	03.Dec.2039	Foundation completed
186	04.Jan.2040	Foundation completed
187	05.Feb.2040	Foundation completed
188	06.Mar.2040	Foundation completed
189	07.Apr.2040	Foundation completed
190	08.May.2040	Foundation completed
191	09.Jun.2040	Foundation completed
192	10.Jul.2040	Foundation completed
193	11.Aug.2040	Foundation completed
194	12.Sep.2040	Foundation completed
195	13.Oct.2040	Foundation completed
196	14.Nov.2040	Foundation completed
197	15.Dec.2040	Foundation completed
198	16.Jan.2041	Foundation completed
199	17.Feb.2041	Foundation completed
200	18.Mar.2041	Foundation completed

ENGINEER (NAME/PERSONAL)

PROJECT NUMBER

**24.004b**

PROJECT DATE

**01.Aug.2024**

SITE ADDRESS

1149 Rostrevor Road  
Windermere, GA, 30090

Renderings

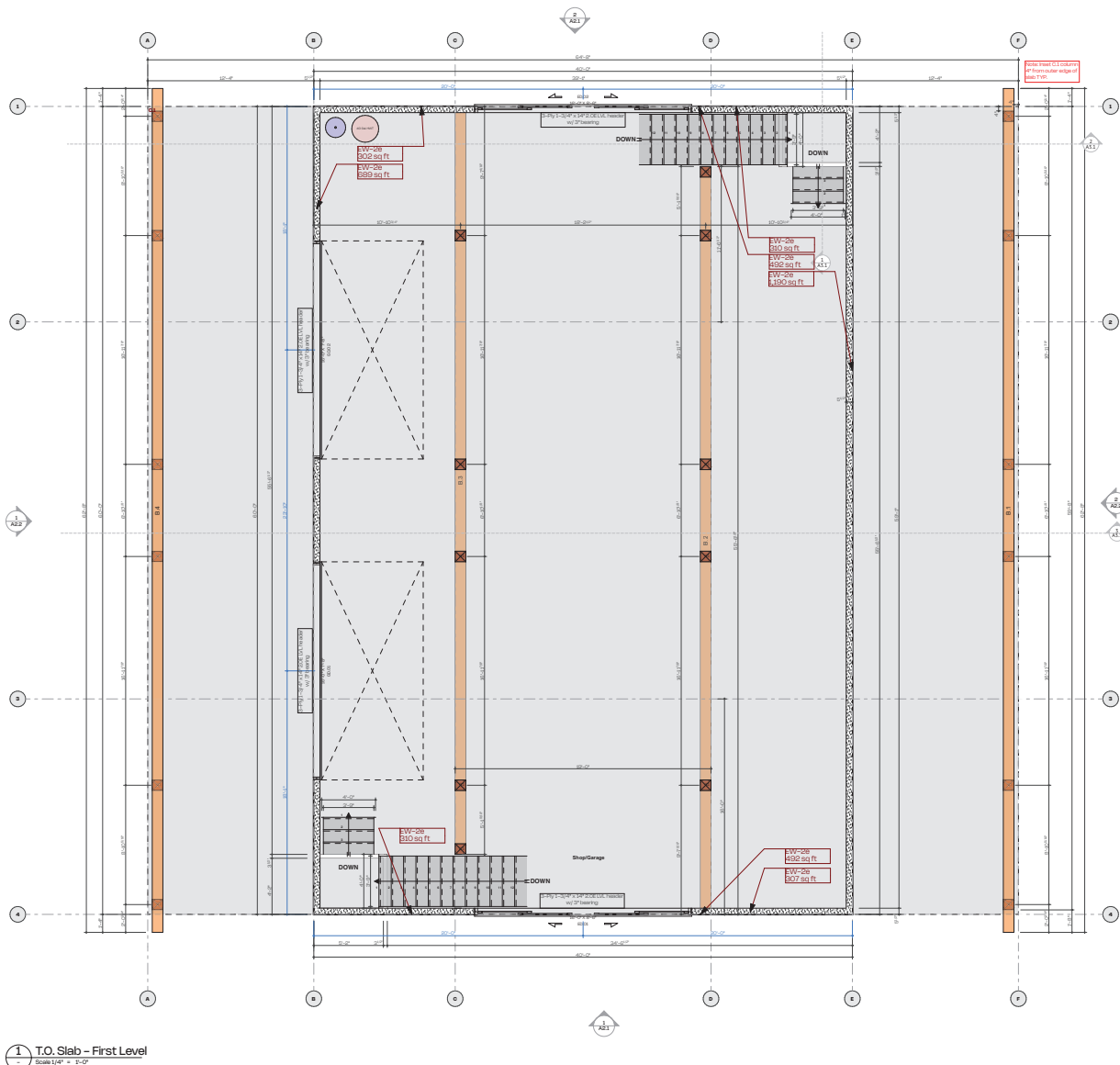
SHEET NO.

**A0.3**



FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE



Preliminary Area		
Label	Room Name	Area
T.O. Slab - First Level		2,809.17
	Shop/Garage	2,809.17
T.O. Subfloor - Second Level		
	Bathroom #1	26.27
	Bathroom #2	26.27
	Storage #1	204.79
	Storage #2	204.77
		<b>2,811.27</b>

Preliminary Area (FIs)	
Element ID	Area
<b>Covered Overhang 1</b>	
T.O. Slab - First Level	740.00
	<b>740.00</b>
<b>Covered Overhang 2</b>	
T.O. Slab - First Level	740.00
	<b>740.00</b>
<b>Main Floor Area</b>	
T.O. Slab - First Level	2,400.00
	<b>2,400.00</b>
<b>Second Floor Area</b>	
T.O. Subfloor - Second Level	560.44
	<b>560.44</b>
	<b>4,440.44</b>

Door Types				
Type	Garage Door	Inswinging Door	Outswinging Door	Sliding Door
View				
ID	ED03, ED02	ED03, ED04	ED03, ED02	ED03, ED02
Note		2'-0" x 7'-0"	2'-0" x 7'-0"	2'-0" x 7'-0"
Unit Dimensions	10'-0" x 7'-0"	2'-0" x 7'-0"	2'-0" x 7'-0"	2'-0" x 7'-0"
Screen Dimensions	10'-0" x 7'-0"	2'-0" x 7'-0"	2'-0" x 7'-0"	2'-0" x 7'-0"
Quantity	2	2	2	2

Window Types		
Type	Fixed	Fixed
View		
ID	W03, W07	W03, W03, W04, W05, W06, W07, W08, W09, W10, W11, W12
Unit Dimensions	6'-0" x 6'-0"	6'-0" x 6'-0"
Note		2'-0" x 6'-0"
Quantity	2	10
WJD Opening Normal Surface Area	36.00	36.00

Beam Schedule		
Element ID	Depth	Schedule Note
B.1	12"	1x12 Douglas Fir 20x42 dressed beam.
B.2	12"	1x12 Douglas Fir 20x42 dressed beam.
B.3	12"	1x12 Douglas Fir 20x42 dressed beam.
B.4	12"	1x12 Douglas Fir 20x42 dressed beam.
B.5	12"	1x12 Douglas Fir 20x42 dressed beam.
B.6	12"	1x12 Douglas Fir 20x42 dressed beam.

Column Schedule		
Element ID	Quantity	Schedule Note
C.1	10	1x10 20x20 dressed column with Simpson ANL022 20x10x10 base bracket.

**Wood Framed Wall Schedule:**

Note: Wall not shown below do not show interior and exterior insulation details. Refer to schedule or plan views for material type.

**EW-28 - 2x6 SIP Wall Assembly**

- 2x6 SIP wall with 1/2" mineral wool insulation.
- 1/2" gypsum board on exterior side of studs.
- 1/2" gypsum board on interior side of studs.
- 1/2" OSB sheathing on exterior side of studs.
- 1/2" OSB sheathing on interior side of studs.
- 1/2" OSB sheathing on exterior side of studs.
- 1/2" OSB sheathing on interior side of studs.
- 1/2" OSB sheathing on exterior side of studs.
- 1/2" OSB sheathing on interior side of studs.

**Floor Framing Schedule:**

**Interior Floor Concrete Slab**

- 2" thick concrete on 2x8 joists.
- 1/2" thick concrete on 2x8 joists.
- 1/2" thick concrete on 2x8 joists.
- 1/2" thick concrete on 2x8 joists.
- 1/2" thick concrete on 2x8 joists.
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- 1/2" thick concrete on 2x8 joists.
- 1/2" thick concrete on 2x8 joists.



1149 Rostrevor Road  
Windermer, ON, POB 1P0

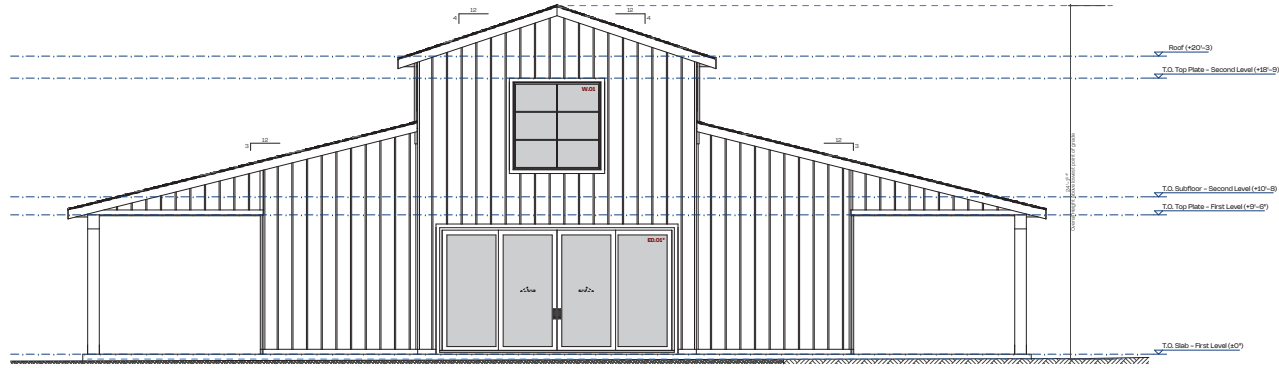
# Rostrevor Garage

No.	Date	Description
1	14 Aug 2024	Final Concept - issued for Review (R)
2	28 Sep 2024	Revision from RFP concept, submitted for RFP
3	28 Oct 2024	Approved for RFP, issued for RFP
4	14 Nov 2024	Revision from RFP, issued for RFP
5	14 Dec 2024	Revision from RFP, issued for RFP
6	14 Jan 2025	Revision from RFP, issued for RFP
7	14 Feb 2025	Revision from RFP, issued for RFP
8	14 Mar 2025	Revision from RFP, issued for RFP
9	14 Apr 2025	Revision from RFP, issued for RFP
10	14 May 2025	Revision from RFP, issued for RFP
11	14 Jun 2025	Revision from RFP, issued for RFP
12	14 Jul 2025	Revision from RFP, issued for RFP
13	14 Aug 2025	Revision from RFP, issued for RFP
14	14 Sep 2025	Revision from RFP, issued for RFP
15	14 Oct 2025	Revision from RFP, issued for RFP
16	14 Nov 2025	Revision from RFP, issued for RFP
17	14 Dec 2025	Revision from RFP, issued for RFP
18	14 Jan 2026	Revision from RFP, issued for RFP
19	14 Feb 2026	Revision from RFP, issued for RFP
20	14 Mar 2026	Revision from RFP, issued for RFP
21	14 Apr 2026	Revision from RFP, issued for RFP
22	14 May 2026	Revision from RFP, issued for RFP
23	14 Jun 2026	Revision from RFP, issued for RFP
24	14 Jul 2026	Revision from RFP, issued for RFP
25	14 Aug 2026	Revision from RFP, issued for RFP
26	14 Sep 2026	Revision from RFP, issued for RFP
27	14 Oct 2026	Revision from RFP, issued for RFP
28	14 Nov 2026	Revision from RFP, issued for RFP
29	14 Dec 2026	Revision from RFP, issued for RFP
30	14 Jan 2027	Revision from RFP, issued for RFP
31	14 Feb 2027	Revision from RFP, issued for RFP
32	14 Mar 2027	Revision from RFP, issued for RFP
33	14 Apr 2027	Revision from RFP, issued for RFP
34	14 May 2027	Revision from RFP, issued for RFP
35	14 Jun 2027	Revision from RFP, issued for RFP
36	14 Jul 2027	Revision from RFP, issued for RFP
37	14 Aug 2027	Revision from RFP, issued for RFP
38	14 Sep 2027	Revision from RFP, issued for RFP
39	14 Oct 2027	Revision from RFP, issued for RFP
40	14 Nov 2027	Revision from RFP, issued for RFP
41	14 Dec 2027	Revision from RFP, issued for RFP
42	14 Jan 2028	Revision from RFP, issued for RFP
43	14 Feb 2028	Revision from RFP, issued for RFP
44	14 Mar 2028	Revision from RFP, issued for RFP
45	14 Apr 2028	Revision from RFP, issued for RFP
46	14 May 2028	Revision from RFP, issued for RFP
47	14 Jun 2028	Revision from RFP, issued for RFP
48	14 Jul 2028	Revision from RFP, issued for RFP
49	14 Aug 2028	Revision from RFP, issued for RFP
50	14 Sep 2028	Revision from RFP, issued for RFP
51	14 Oct 2028	Revision from RFP, issued for RFP
52	14 Nov 2028	Revision from RFP, issued for RFP
53	14 Dec 2028	Revision from RFP, issued for RFP
54	14 Jan 2029	Revision from RFP, issued for RFP
55	14 Feb 2029	Revision from RFP, issued for RFP
56	14 Mar 2029	Revision from RFP, issued for RFP
57	14 Apr 2029	Revision from RFP, issued for RFP
58	14 May 2029	Revision from RFP, issued for RFP
59	14 Jun 2029	Revision from RFP, issued for RFP
60	14 Jul 2029	Revision from RFP, issued for RFP
61	14 Aug 2029	Revision from RFP, issued for RFP
62	14 Sep 2029	Revision from RFP, issued for RFP
63	14 Oct 2029	Revision from RFP, issued for RFP
64	14 Nov 2029	Revision from RFP, issued for RFP
65	14 Dec 2029	Revision from RFP, issued for RFP
66	14 Jan 2030	Revision from RFP, issued for RFP
67	14 Feb 2030	Revision from RFP, issued for RFP
68	14 Mar 2030	Revision from RFP, issued for RFP
69	14 Apr 2030	Revision from RFP, issued for RFP
70	14 May 2030	Revision from RFP, issued for RFP
71	14 Jun 2030	Revision from RFP, issued for RFP
72	14 Jul 2030	Revision from RFP, issued for RFP
73	14 Aug 2030	Revision from RFP, issued for RFP
74	14 Sep 2030	Revision from RFP, issued for RFP
75	14 Oct 2030	Revision from RFP, issued for RFP
76	14 Nov 2030	Revision from RFP, issued for RFP
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78	14 Jan 2031	Revision from RFP, issued for RFP
79	14 Feb 2031	Revision from RFP, issued for RFP
80	14 Mar 2031	Revision from RFP, issued for RFP
81	14 Apr 2031	Revision from RFP, issued for RFP
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86	14 Sep 2031	Revision from RFP, issued for RFP
87	14 Oct 2031	Revision from RFP, issued for RFP
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92	14 Mar 2032	Revision from RFP, issued for RFP
93	14 Apr 2032	Revision from RFP, issued for RFP
94	14 May 2032	Revision from RFP, issued for RFP
95	14 Jun 2032	Revision from RFP, issued for RFP
96	14 Jul 2032	Revision from RFP, issued for RFP
97	14 Aug 2032	Revision from RFP, issued for RFP
98	14 Sep 2032	Revision from RFP, issued for RFP
99	14 Oct 2032	Revision from RFP, issued for RFP
100	14 Nov 2032	Revision from RFP, issued for RFP
101	14 Dec 2032	Revision from RFP, issued for RFP
102	14 Jan 2033	Revision from RFP, issued for RFP
103	14 Feb 2033	Revision from RFP, issued for RFP
104	14 Mar 2033	Revision from RFP, issued for RFP
105	14 Apr 2033	Revision from RFP, issued for RFP
106	14 May 2033	Revision from RFP, issued for RFP
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116	14 Mar 2034	Revision from RFP, issued for RFP
117	14 Apr 2034	Revision from RFP, issued for RFP
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127	14 Feb 2035	Revision from RFP, issued for RFP
128	14 Mar 2035	Revision from RFP, issued for RFP
129	14 Apr 2035	Revision from RFP, issued for RFP
130	14 May 2035	Revision from RFP, issued for RFP
131	14 Jun 2035	Revision from RFP, issued for RFP
132	14 Jul 2035	Revision from RFP, issued for RFP
133	14 Aug 2035	Revision from RFP, issued for RFP
134	14 Sep 2035	Revision from RFP, issued for RFP
135	14 Oct 2035	Revision from RFP, issued for RFP
136	14 Nov 2035	Revision from RFP, issued for RFP
137	14 Dec 2035	Revision from RFP, issued for RFP
138	14 Jan 2036	Revision from RFP, issued for RFP
139	14 Feb 2036	Revision from RFP, issued for RFP
140	14 Mar 2036	Revision from RFP, issued for RFP
141	14 Apr 2036	Revision from RFP, issued for RFP
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144	14 Jul 2036	Revision from RFP, issued for RFP
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147	14 Oct 2036	Revision from RFP, issued for RFP
148	14 Nov 2036	Revision from RFP, issued for RFP
149	14 Dec 2036	Revision from RFP, issued for RFP
150	14 Jan 2037	Revision from RFP, issued for RFP
151	14 Feb 2037	Revision from RFP, issued for RFP
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153	14 Apr 2037	Revision from RFP, issued for RFP
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159	14 Oct 2037	Revision from RFP, issued for RFP
160	14 Nov 2037	Revision from RFP, issued for RFP
161	14 Dec 2037	Revision from RFP, issued for RFP
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163	14 Feb 2038	Revision from RFP, issued for RFP
164	14 Mar 2038	Revision from RFP, issued for RFP
165	14 Apr 2038	Revision from RFP, issued for RFP
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172	14 Nov 2038	Revision from RFP, issued for RFP
173	14 Dec 2038	Revision from RFP, issued for RFP
174	14 Jan 2039	Revision from RFP, issued for RFP
175	14 Feb 2039	Revision from RFP, issued for RFP
176	14 Mar 2039	Revision from RFP, issued for RFP
177	14 Apr 2039	Revision from RFP, issued for RFP
178	14 May 2039	Revision from RFP, issued for RFP
179	14 Jun 2039	Revision from RFP, issued for RFP
180	14 Jul 2039	Revision from RFP, issued for RFP
181	14 Aug 2039	Revision from RFP, issued for RFP
182	14 Sep 2039	Revision from RFP, issued for RFP
183	14 Oct 2039	Revision from RFP, issued for RFP
184	14 Nov 2039	Revision from RFP, issued for RFP
185	14 Dec 2039	Revision from RFP, issued for RFP
186	14 Jan 2040	Revision from RFP, issued for RFP
187	14 Feb 2040	Revision from RFP, issued for RFP
188	14 Mar 2040	Revision from RFP, issued for RFP
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190	14 May 2040	Revision from RFP, issued for RFP
191	14 Jun 2040	Revision from RFP, issued for RFP
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193	14 Aug 2040	Revision from RFP, issued for RFP
194	14 Sep 2040	Revision from RFP, issued for RFP
195	14 Oct 2040	Revision from RFP, issued for RFP
196	14 Nov 2040	Revision from RFP, issued for RFP
197	14 Dec 2040	Revision from RFP, issued for RFP
198	14 Jan 2041	Revision from RFP, issued for RFP
199	14 Feb 2041	Revision from RFP, issued for RFP
200	14 Mar 2041	Revision from RFP, issued for RFP
201	14 Apr 2041	Revision from RFP, issued for RFP
202	14 May 2041	Revision from RFP, issued for RFP
203	14 Jun 2041	Revision from RFP, issued for RFP
204	14 Jul 2041	Revision from RFP, issued for RFP
205	14 Aug 2041	Revision from RFP, issued for RFP
206	14 Sep 2041	Revision from RFP, issued for RFP

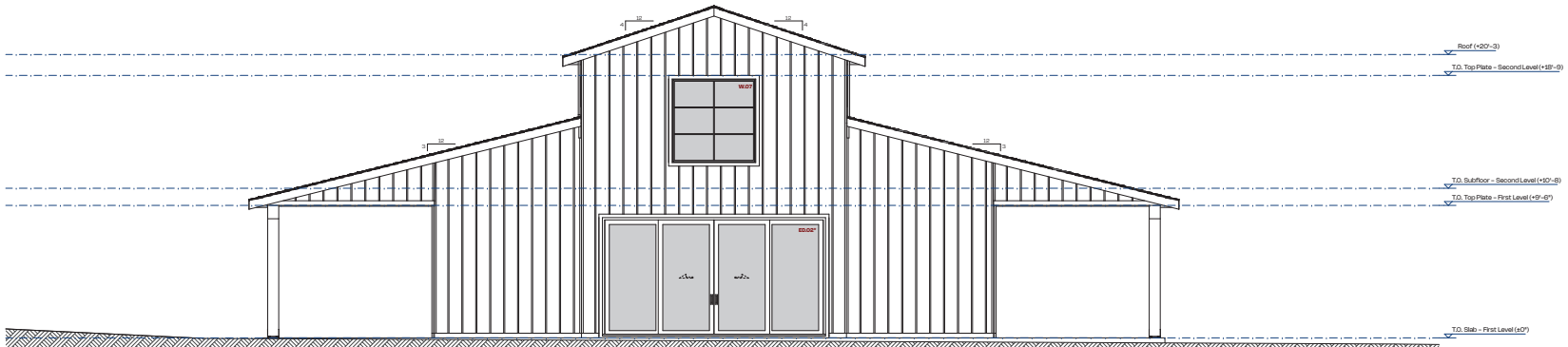








1 Front Elevation  
Scale 1/4" = 1'-0"



2 Rear Elevation  
Scale 1/4" = 1'-0"

**Rostrevor Garage**

Revisions	No.	Date	Description
	01	01.Aug.2024	Final Concept - Issued for Bidding (FC)
	02	01.Sep.2024	Revised from initial concept. Selected for design (SD)
	03	03.Nov.2024	Architectural drawings issued for permit (AP)
	04	18.Nov.2024	Revised from engineering. Issued for construction (EC)
	05	01.Dec.2024	Revised from landscape architect for site plan (SL)
	06	01.Dec.2024	Revised from structural engineer for foundation (SF)
	07	01.Dec.2024	Revised from mechanical engineer for HVAC (ME)
	08	01.Dec.2024	Revised from electrical engineer for lighting (EL)
	09	01.Dec.2024	Revised from civil engineer for site work (CI)
	10	01.Dec.2024	Revised from interior designer for finishes (ID)
	11	01.Dec.2024	Revised from contractor for construction (CT)
	12	01.Dec.2024	Revised from architect for final drawings (FD)
	13	01.Dec.2024	Revised from engineer for final engineering (FE)
	14	01.Dec.2024	Revised from architect for final architectural (FA)
	15	01.Dec.2024	Revised from contractor for final construction (FC)

ENGINEER (STATE APPROVAL)

PROJECT NUMBER:  
**24.004b**

PROJECT DATE:  
**01.Aug.2024**

SITE ADDRESS:  
1149 Rostrevor Road  
Windermere, ON, POB 1PO

Front & Rear  
Elevations

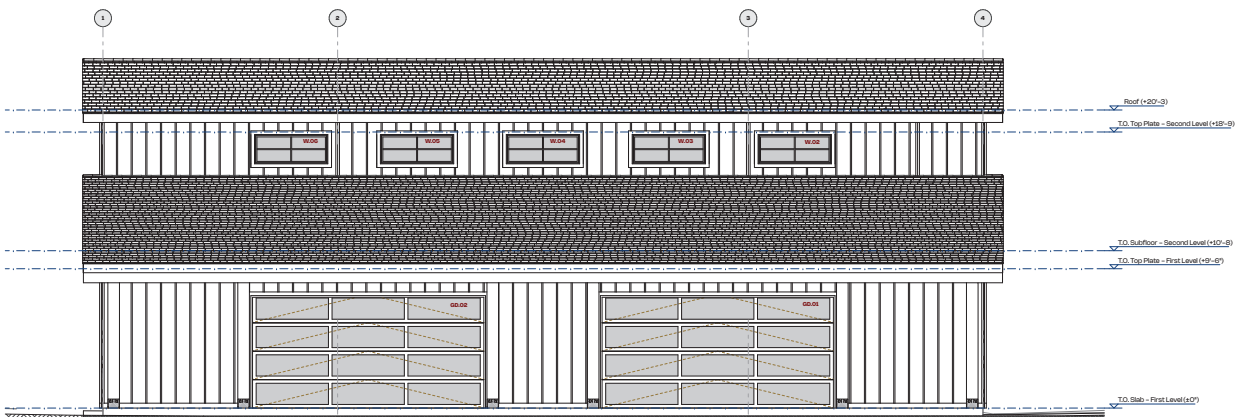
SHEET NO.  
**A2.1**

FOR INFORMATIONAL PURPOSES ONLY

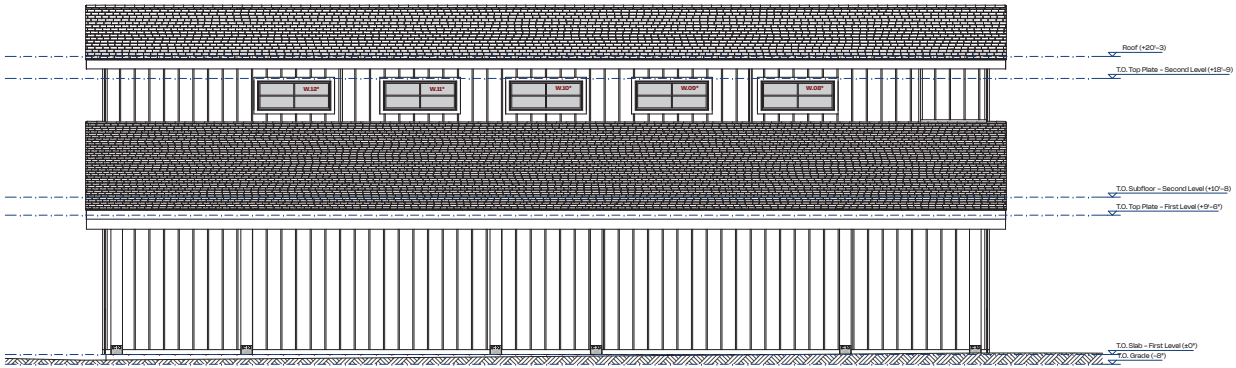
NOT TO SCALE



# Rostrevor Garage



**1** Left Elevation  
Scale 1/4" = 1'-0"



**2** Right Elevation  
Scale 1/4" = 1'-0"

Window Types		
Type	Fixed	Fixed
View		
ID	W.01, W.07	W.02, W.03, W.04, W.05, W.06, W.08, W.09, W.10, W.11
Unit Dimensions	6'-0"H-2'-0"W	2'-0"H-2'-0"W
Note		
Quantity	2	10
W/O Opening Nominal Surface Area	36.00	30.00

Door Types				
Type	Garage Door	Swinging Door	Swinging Door	Sliding Door
View				
ID	GD.01, GD.02	ED.01, ED.04	ED.02, ED.03	ED.03, ED.05
Note				
Unit Dimensions	10'-0"H-8'-0"W	2'-0"H-2'-0"W	2'-0"H-2'-0"W	10'-0"H-8'-0"W
Edge Dimensions	10'-0"Hx8'-0"W	2'-0"Hx2'-0"W	2'-0"Hx2'-0"W	7'-0"Hx8'-0"W
Quantity	2	2	2	2

Revisions	No.	Date	Description
	01	01.Aug.2024	Final Concept - issued for Review (R)
	02	05.Sep.2024	Revised from initial concept. Selected for design (D)
	03	03.Oct.2024	Approved for design (D) - issued for permit (P)
	04	18.Nov.2024	Revised from design (D) - issued for construction (C)
	05	01.Dec.2024	Revised from design (D) - issued for construction (C)
	06	01.Dec.2024	Revised from design (D) - issued for construction (C)
	07	01.Dec.2024	Revised from design (D) - issued for construction (C)
	08	01.Dec.2024	Revised from design (D) - issued for construction (C)
	09	01.Dec.2024	Revised from design (D) - issued for construction (C)
	10	01.Dec.2024	Revised from design (D) - issued for construction (C)
	11	01.Dec.2024	Revised from design (D) - issued for construction (C)
	12	01.Dec.2024	Revised from design (D) - issued for construction (C)
	13	01.Dec.2024	Revised from design (D) - issued for construction (C)
	14	01.Dec.2024	Revised from design (D) - issued for construction (C)
	15	01.Dec.2024	Revised from design (D) - issued for construction (C)
	16	01.Dec.2024	Revised from design (D) - issued for construction (C)
	17	01.Dec.2024	Revised from design (D) - issued for construction (C)
	18	01.Dec.2024	Revised from design (D) - issued for construction (C)
	19	01.Dec.2024	Revised from design (D) - issued for construction (C)
	20	01.Dec.2024	Revised from design (D) - issued for construction (C)

GENERAL NOTES/REVISIONS

PROJECT NUMBER:  
**24.004b**

PROJECT DATE:  
**01.Aug.2024**

SITE ADDRESS:  
1149 Rostrevor Road  
Windermere, FL, 34786

Left & Right Elevations

SHEET NO.  
**A2.2**

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

# Rostrevor Garage

NO.	DATE	DESCRIPTION
1	01.Aug.2024	Final Concept - issued for Review (RFS)
2	05.Sep.2024	Review from FDSR consultant, Selection
3	03.Oct.2024	Architectural drawings issued for permit
4	18.Nov.2024	Review from engineering, issued for construction (RFS)
5	01.Dec.2024	Review from landscape architect and civil
6	01.Dec.2024	Review from structural consultant (RFS)
7	01.Dec.2024	Review from fire marshal (RFS)
8	01.Dec.2024	Review from fire marshal (RFS)

ENGINEER (NAME AND ADDRESS)

PROJECT NUMBER:  
**24.004b**

PROJECT DATE:  
**01.Aug.2024**

SITE ADDRESS:  
1149 Rostrevor Road  
Windsor, ON, POB 1P0

Sections

SHEET NO.  
**A3.1**

**Interior Stair & Railing Details**

A handrail is required on all sides of the stairs. Guardrails are required on both sides of stairs unless side is abutting a wall. Guardrail (900-100-2) at least 1 meter in height to be continuous around entire perimeter of stairs, handrails, and newel posts with 45 degree balustrade. Guards and handrails are not required if there are 2 or less risers. Min. stair width is 2'-0" (600mm). A handrail cannot project more than 3'-0" (900mm) into the minimum width of the stairs.

There must be a clearance of 3'-0" (900mm) clearance between the handrail and any surface below it. Clearances for guards and railings of side to prevent passage of an object 4" (100mm) in diameter. Minimum balustrade height is 900-100-2.

**Stair Data**

Riser Height: +1'-7"

Tread Depth: +10'-2 1/4"

Run of Stair 1: +2'-0" (600mm)

Run of Stair 2: +2'-0" (600mm)

Total Stair width: +4'-0"

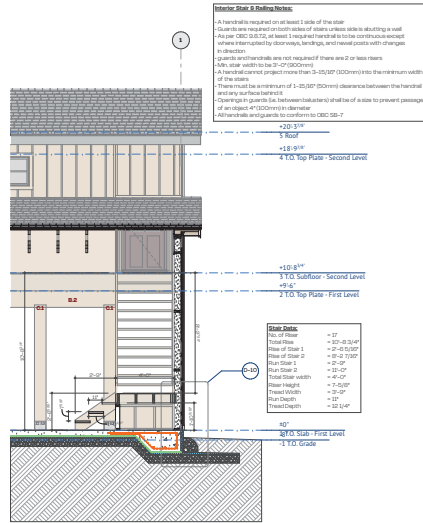
Riser Height: +1'-7"

Tread Depth: +10'-2 1/4"

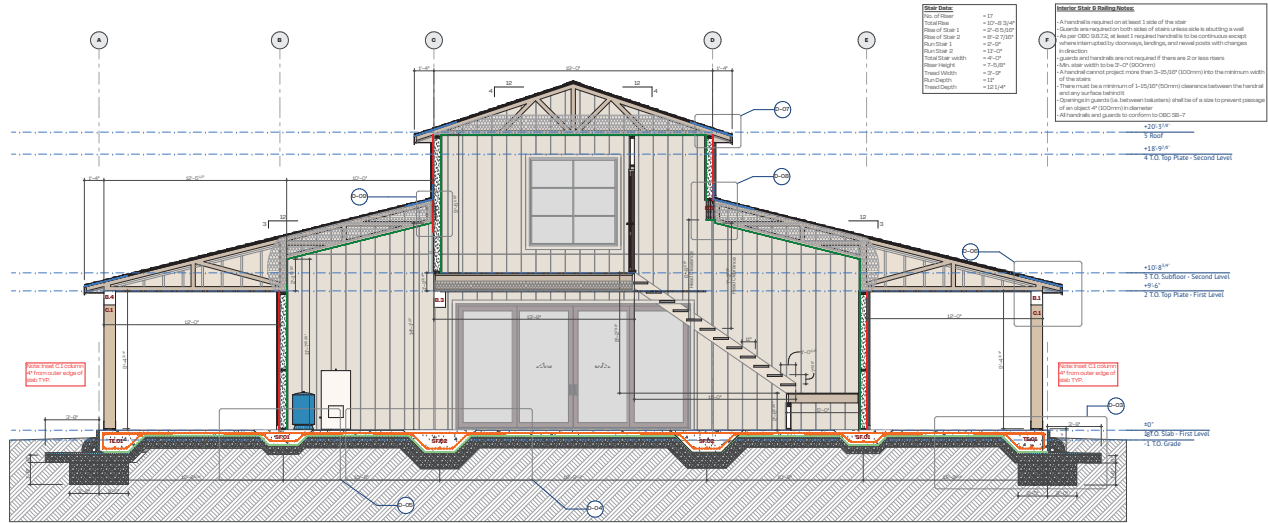
**Interior Stair & Railing Notes**

Guards and handrails are not required if there are 2 or less risers. Min. stair width is 2'-0" (600mm). A handrail cannot project more than 3'-0" (900mm) into the minimum width of the stairs.

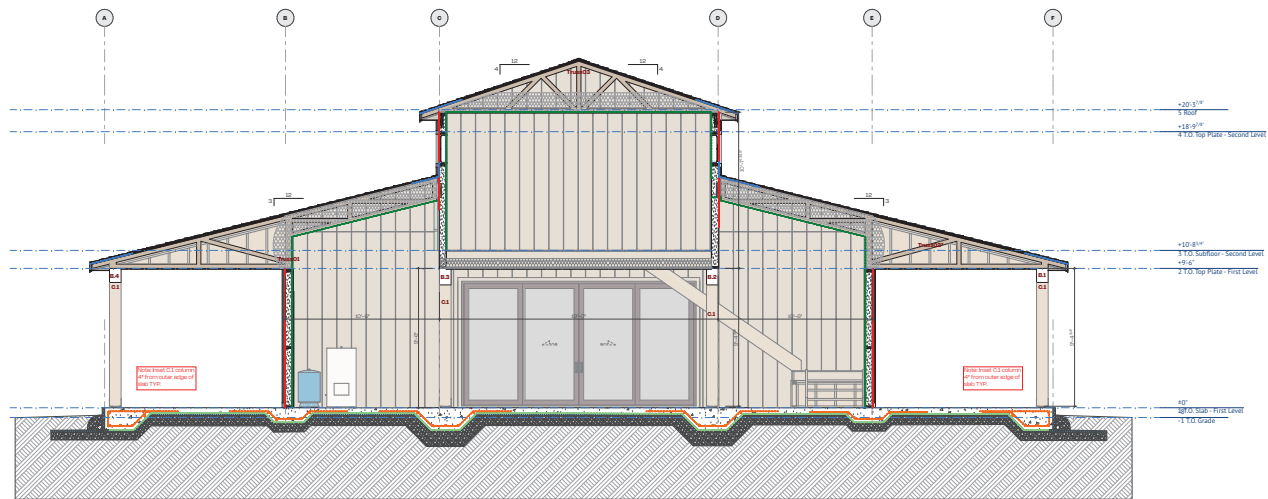
There must be a clearance of 3'-0" (900mm) clearance between the handrail and any surface below it. Clearances for guards and railings of side to prevent passage of an object 4" (100mm) in diameter. Minimum balustrade height is 900-100-2.



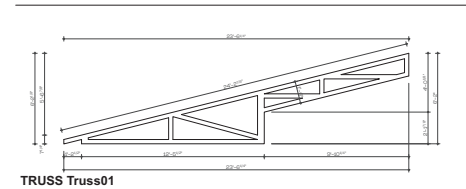
1 Section through Stairs  
Scale 1/4" = 1'-0"



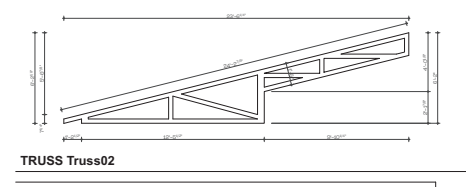
2 Section through Storage (TYP)  
Scale 1/4" = 1'-0"



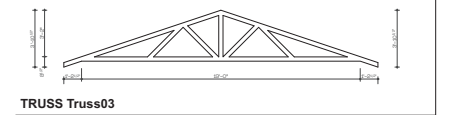
3 Section through Middle  
Scale 1/4" = 1'-0"



TRUSS Truss01



TRUSS Truss02



TRUSS Truss03



4 Roof Framing Plan  
Scale 1/4" = 1'-0"

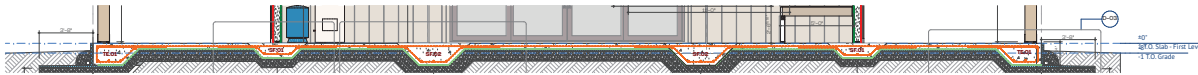
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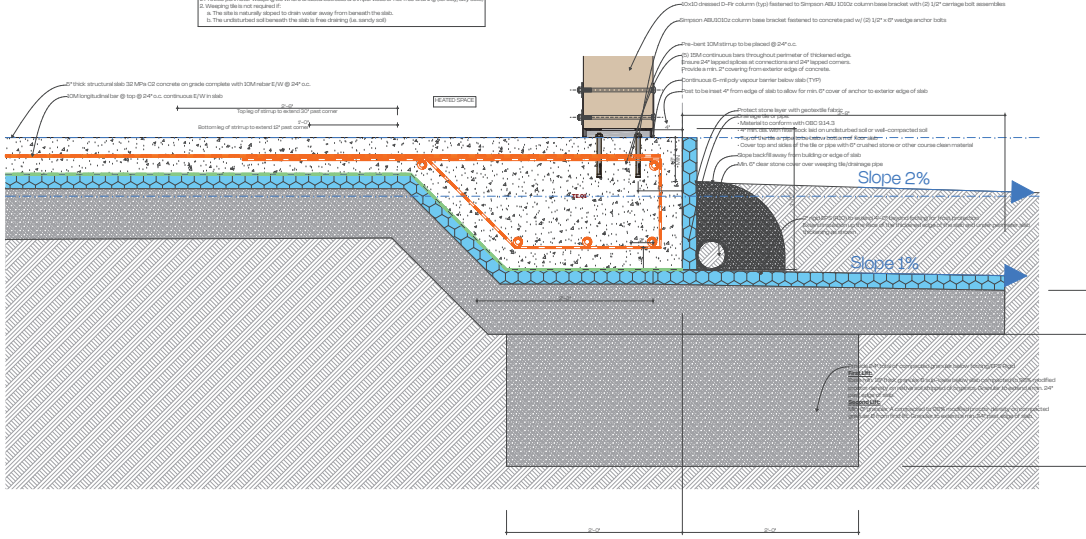




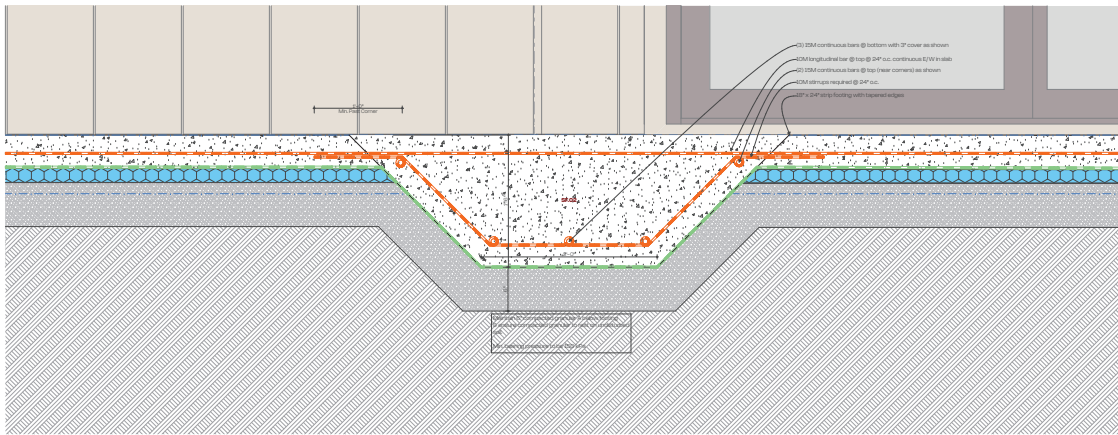


1 Section Through Storage (TYP)  
Scale 1/4" = 1'-0"

- Notes:**
1. Provide steel reinforcement where indicated, unless otherwise noted. Reinforcing bars shall be lap spliced.
  2. Welding shall not be used.
  3. The slab is intended to drain water away from beneath the slab.
  4. The underside and beneath the slab is free draining (i.e. sandy soil).



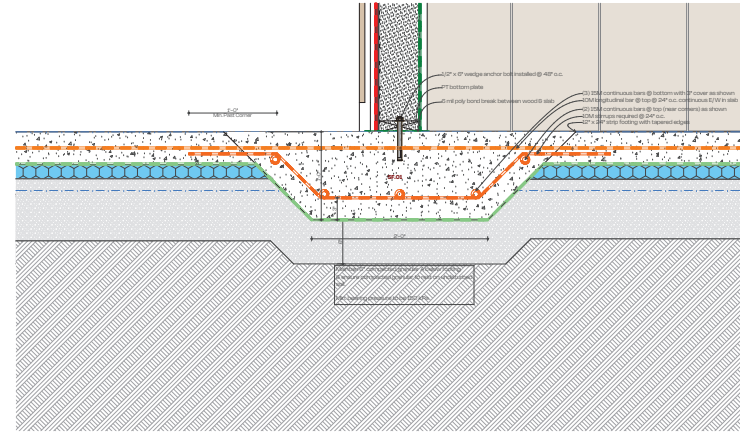
2 Thickened Edge Detail  
Scale 1/2" = 1'-0"



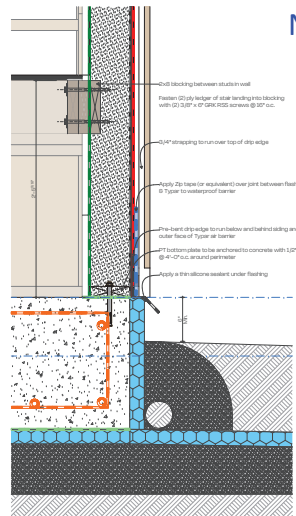
3 SF.02 Detail  
Scale 1/2" = 1'-0"

FOR INFORMATIONAL PURPOSES ONLY

Element ID	Quantity	Width @ Top	Length	Schedule Note
SF.01	1	4'-0"	50'-0"	32 MPA C20 concrete, 24" wide @ bottom, 20" thick interior walls. Reinforcing with 2#10 bars @ 12" o.c. continuous E-W in bottom and 2 #10 bars section lateral for rebar locations. Ensure all rebar bars are 24" o.c.
SF.02	1	4'-0"	50'-0"	32 MPA C20 concrete, 24" wide @ bottom, 20" thick interior walls. Reinforcing with 2#10 bars @ 12" o.c. continuous E-W in bottom and 2 #10 bars section lateral for rebar locations. Ensure all rebar bars are 24" o.c.
SF.03	1	5'-0"	50'-0"	32 MPA C20 concrete, 24" wide @ bottom, 20" thick interior walls. Reinforcing with 2#10 bars @ 12" o.c. continuous E-W in bottom and 2 #10 bars section lateral for rebar locations. Ensure all rebar bars are 24" o.c.
SF.04	1	3'-0"	60'-0"	32 MPA C20 concrete, 24" wide @ bottom, 20" thick interior walls. Reinforcing with 2#10 bars @ 12" o.c. continuous E-W in bottom and 2 #10 bars section lateral for rebar locations. Ensure all rebar bars are 24" o.c.
TE.01	1	3'-0"	60'-0"	32 MPA C20 concrete, 24" wide @ bottom, 20" thick interior walls. Reinforcing with 2#10 bars @ 12" o.c. continuous E-W in bottom and 2 #10 bars section lateral for rebar locations. Ensure all rebar bars are 24" o.c.
TE.02	1	3'-0"	60'-0"	32 MPA C20 concrete, 24" wide @ bottom, 20" thick interior walls. Reinforcing with 2#10 bars @ 12" o.c. continuous E-W in bottom and 2 #10 bars section lateral for rebar locations. Ensure all rebar bars are 24" o.c.
TE.03	1	3'-0"	60'-0"	32 MPA C20 concrete, 24" wide @ bottom, 20" thick interior walls. Reinforcing with 2#10 bars @ 12" o.c. continuous E-W in bottom and 2 #10 bars section lateral for rebar locations. Ensure all rebar bars are 24" o.c.
TE.04	1	3'-0"	60'-0"	32 MPA C20 concrete, 24" wide @ bottom, 20" thick interior walls. Reinforcing with 2#10 bars @ 12" o.c. continuous E-W in bottom and 2 #10 bars section lateral for rebar locations. Ensure all rebar bars are 24" o.c.



4 SF.01 Detail  
Scale 1/2" = 1'-0"



5 Thickened Edge Detail @ Wall  
Scale 1/2" = 1'-0"

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FIRM REGISTRATION NO. 0000000000

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# Rostrevor Garage

REVISION	No.	Date	Description
	1	04-Aug-2024	Final Concept - Issued for Bidding (SFS)
	2	05-Sep-2024	Revisions from RFPB contract, Selection of Contractor
	3	06-Oct-2024	Architectural Change Order - Issues for Approval
	4	06-Nov-2024	Revisions from engineering, Issues for Construction (SFS)
	5	06-Dec-2024	Revisions from engineering and issues for Construction (SFS)
	6	06-Dec-2024	Revisions from engineering and issues for Construction (SFS)

PROJECT NUMBER:  
**24.004b**

PROJECT DATE:  
**01.Aug.2024**

SITE ADDRESS:  
1149 Rostrevor Road  
Windermere, ON, L0B 1P0

Foundation & Footing Details

SHEET NO.  
**S1.2**









# Rostrevor Garage

Revison No.	Date	Description
01	01.Aug.2024	Final Concept - Issued for Review (FC)
02	01.Sep.2024	Revised from initial concept. Submitted for review (FC)
03	03.Oct.2024	Approved for construction (FC) - Issued for construction (FC)
04	01.Nov.2024	Revised from engineering. Issued for construction (FC)
05	01.Dec.2024	Revised from engineering and user for approved final design for construction (FC) - Issued for construction (FC)

ENGINEER (NAME/PERSONAL)

PROJECT NUMBER: **24.004b**

PROJECT DATE: **01.Aug.2024**

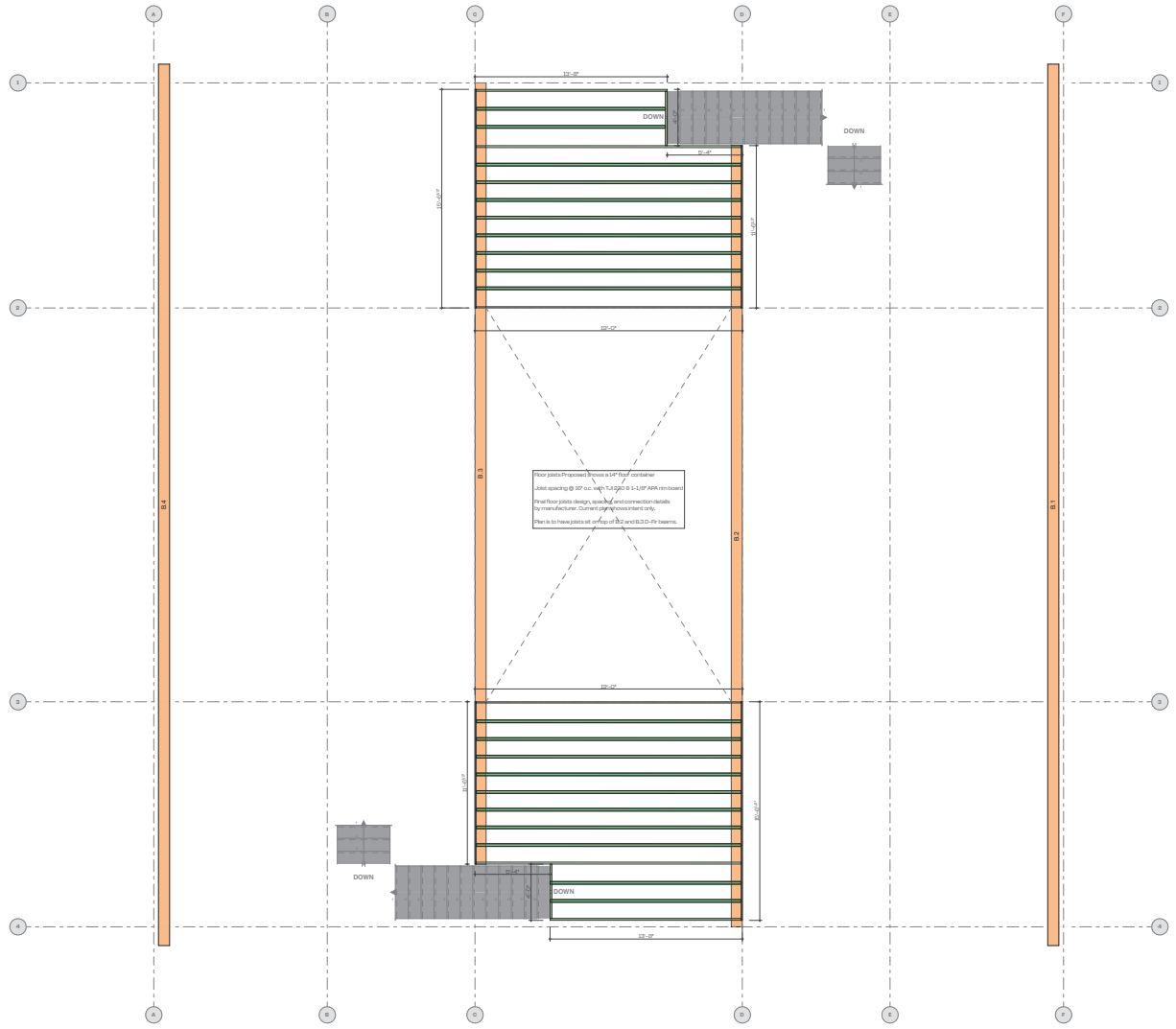
SITE ADDRESS: 1149 Rostrevor Road, Windermere, ON, POB 1PO

Floor Framing Details

SHEET NO. **S3.1**

Beam Schedule			
Element ID	Depth	Length	Schedule Note
B.1	12" <sup>min</sup>	62'-0"	Nx1 Douglas Fir 2Dx12 dressed beam.
B.2	2-1/2" <sup>min</sup>	55'-0"	Nx1 Douglas Fir 2Dx14 dressed beam.
B.3	2-1/2" <sup>min</sup>	55'-0"	Nx1 Douglas Fir 2Dx14 dressed beam.
B.4	12" <sup>min</sup>	62'-0"	Nx1 Douglas Fir 2Dx12 dressed beam.
B.5	2-4"	4'-0"	2Dx12 Lx4" x 2" 2Dx12 Lx4" header for wall support over steel beam.
B.6	2-4"	4'-0"	2Dx12 Lx4" x 2" 2Dx12 Lx4" header for wall support over steel beam.

Column Schedule			
Element ID	Quantity	2D Open Section Profile	Schedule Note
C.1	02		Nx12 Douglas Fir 2Dx12 Lx4" header for wall support over steel beam.



1 Upper Floor Framing Plan  
Scale 1/4" = 1'-0"

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE