



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-85/24

Roll No.: 2-9-092

Owner:	Brackenrig Road Partners Inc., 1 Garfield Avenue, Suite 2, Toronto, ON, M4T 1E6		
Address & Description:	1725 Brackenrig Road Part of Lot 27, Concession 5, Part 1 and part of Part 2, Plan 35R-2845, Part 1, Plan 35R-9333, (Watt)		
Zoning:	Waterfront Residential (WR4) and Open Space - Private (OS2)	Lake Rosseau (Category 1 Lake)	Schedule: 23
Hearing Date: Monday, January 13, 2025			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

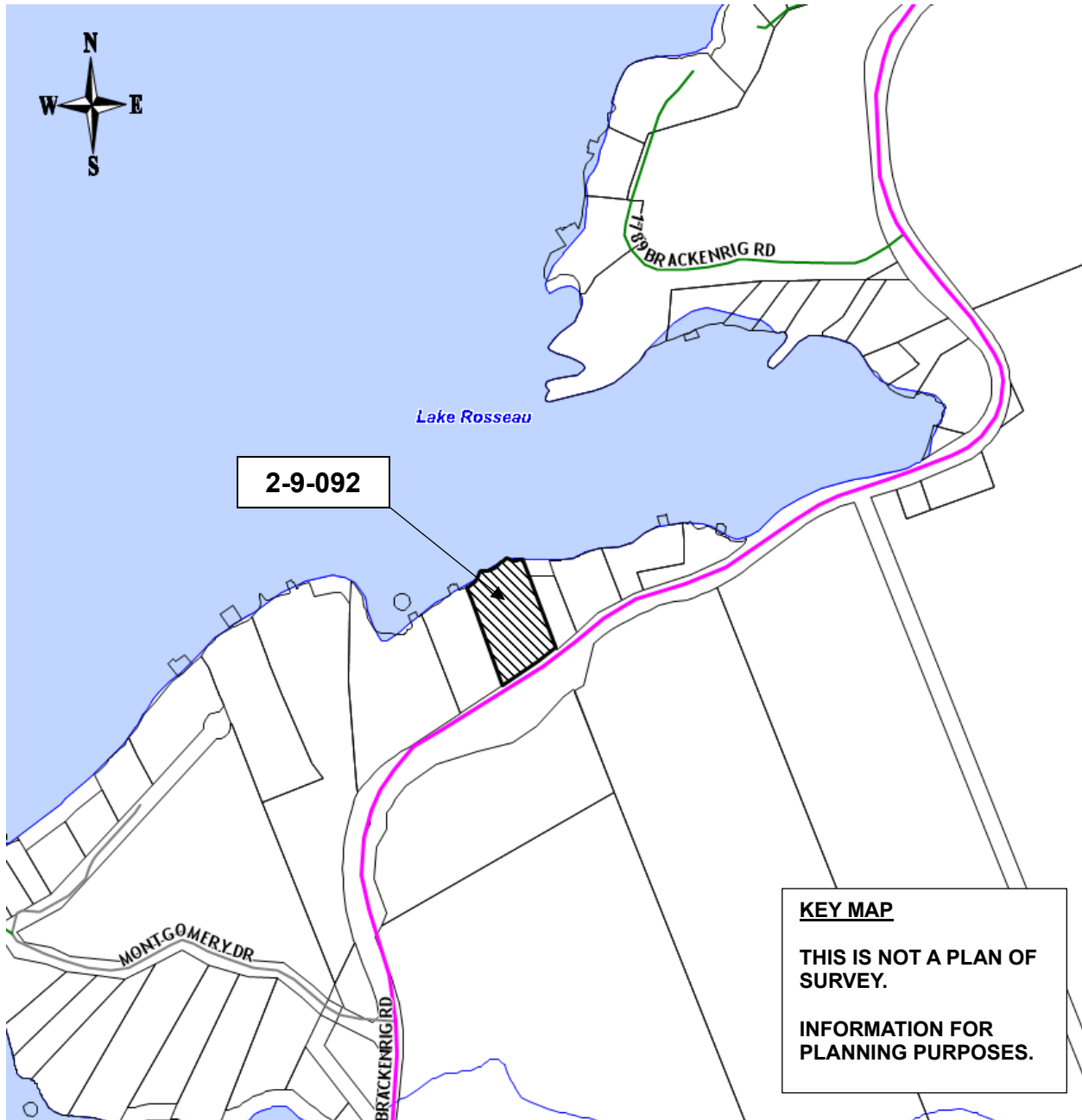
The applicant proposes to recognize an as-built dock. The following is a summary of the requested variance:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.7 & 4.1.7.3	Maximum Permitted Dock Length	66 ft.	70.5 ft.	4.5 ft.	Recognize an As-Built Dock Exceeding the Maximum Permitted Length Requirement

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 17th day of December, 2024.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



- NOTES**
1. ALL VEGETATION WITHIN 50' OF SHORE SHALL REMAIN IN NATURAL STATE IN ACCORDANCE WITH MINNESOTA LAKE AND RIVER ACT. EXCEPT AS NOTED, ALL TREES IDENTIFIED ON SCHEDULE C AS TO BE REMOVED.
 2. TREE REMOVAL AND GRADING/FILING MUST COMPLY WITH TREE REMOVAL ACT.
 3. ALL EXTERIOR LIGHTING SHALL BE DARK-SKY COMPLIANT.
 4. PATHWAYS SHALL BE MAX. 6" WIDE AND REINFORCED THROUGH-EXISTING TREE ROOTS SHALL BE MAINTAINED.
 5. CONSTRUCTION OF WATER PERMEABLE MATERIALS SHALL BE CONSIDERED FOR ALL DRIVEWAYS AND WALKWAYS.
 6. THE MODIFICATION OF TOPOGRAPHY SHALL BE DRY-LAND AND NOT RESULT IN ANY VEGETATION BETWEEN DWELLING AND THE HIGH WATER MARK SHALL BE MAINTAINED.
 7. REFER TO LANDSCAPE PLANS (TREE INVENTORY & RE-NATURALIZATION PLANS) PREPARED BY MINNESOTA LANDSCAPERS INC.
 8. REFER TO LANDSCAPE PLANS (TREE INVENTORY & RE-NATURALIZATION PLANS) PREPARED BY MINNESOTA LANDSCAPERS INC.
 9. REFER TO ENVIRONMENTAL IMPACT STUDY PREPARED BY INVESTIGONE ENVIRONMENTAL SOLUTIONS INC.
 10. REFER TO ENVIRONMENTAL IMPACT STUDY PREPARED BY INVESTIGONE ENVIRONMENTAL SOLUTIONS INC.
 11. LOCATION AND DESIGN CRITERIA FOR PRIVATE ON-SITE SERVICE DISPOSAL SHALL BE DETERMINED BY THE TOWNSHIP OF ROSSEAU LAKE DEVELOPMENTS SERVICES DIVISION.

SITE STATISTICS

PERCENTAGE	AREA
10%	COVERED AREA WITHIN 200' OF SHORELINE: 1,008 S.F.
0.89%	COVERED AREA BEYOND 200' OF SHORELINE: 93 S.F.
	GARAGE: 1,008 S.F.

BUILDING STATISTICS

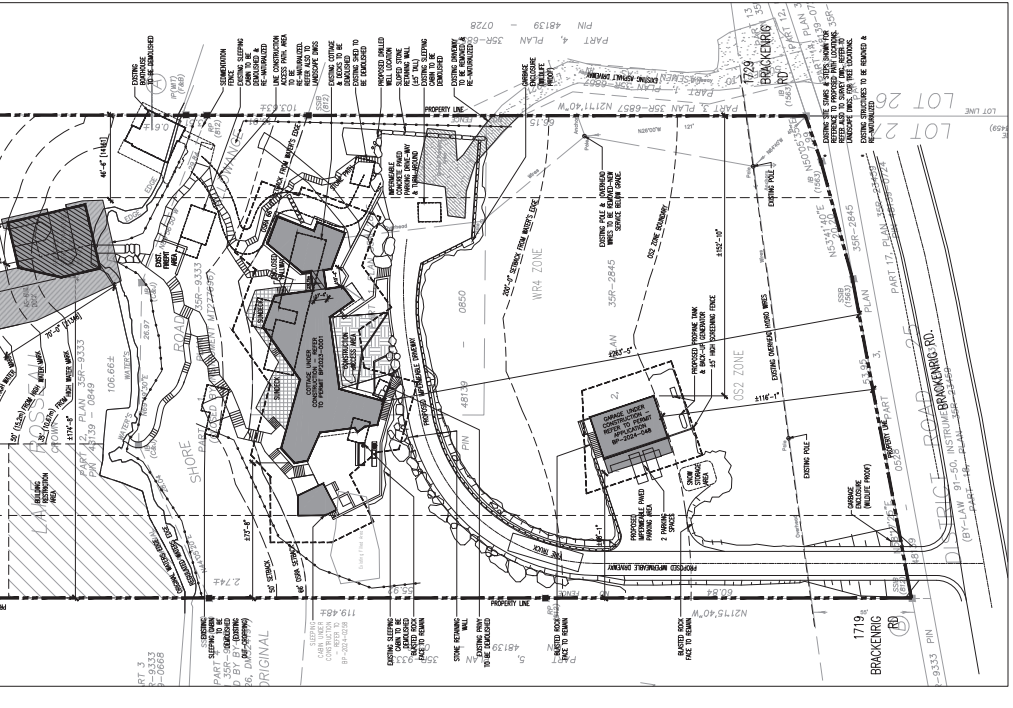
PROPOSED STRUCTURES AREAS:	HEIGHT AS PER BY-LAW:
DWELLING (COTTAGE): 192.2 S.M.	25'-0"
BASEMENT FLOOR: 448 S.M.	25'-0"
2ND FLOOR: 686.7 S.M.	35'-0"
TOTAL DWELLING HABITABLE AREA: 686.7 S.M.	

BOATHOUSE

GROUND FLOOR: 184 S.M.	1,654 S.F.
1ST FLOOR: 604 S.M.	604 S.F.
TOTAL BOATHOUSE BUILDING AREA: 194 S.M.	2,144 S.F.
SLEEPING CABIN BUILDING AREA: 24 S.M.	262 S.F.
GARAGE: 82 S.M.	886 S.F.
OVERLAND AREA: 13 S.M.	138 S.F.
TOTAL GARAGE BUILDING AREA: 177 S.M.	1,924 S.F.

LEGEND

- SILTATION CONTROL FENCE (P5121B190)
- PROPERTY LINE
- SETBACK LINES
- 16' CONSTRUCTION BUFFER
- NO-BUILD ZONE
- CONSTRUCTION ACCESS AREA



BRACKENRIG RD. COTTAGE
 1725 BRACKENRIG RD. PORT CARLING
 ON, PAB 110
 SHEET TITLE

BOATHOUSE - SITE PLAN

SCALE: AS NOTED
 DATE: 05/12/2023
 DRAWN BY: LL
 CHECKED BY: LL
 DATE: 05/12/2023
 SHEET NUMBER: A0.02

1. PROPOSED SITE PLAN & DEMOLITION
 A0.02 / 1/4\" = 1'-0"

2. DETAIL SITE PLAN
 A0.02 / 1/4\" = 1'-0"

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NOT TO SCALE