



1 Bailey Street  
Port Carling, ON P0B 1J0

E: [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) P: 705-765-3156 F: 705-765-6755

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

### THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: A-84/24**

**Roll No.: 8-3-053**

<b>Owners:</b>	Sherene & David Graham, 7 Camelot Square, Barrie, ON, L4M 0C2		
<b>Address &amp; Description:</b>	1003 Ann Street, Unit #4 Lot 5, Concession 3, Lot 6, Plan 21, (Wood)		
<b>Zoning:</b>	Waterfront Residential (WR5)	Lake Muskoka (Category 1 Lake)	Schedule: 44
<b>Hearing Date: Monday, January 13<sup>th</sup>, 2025 at 9:00 a.m.</b>			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notice/> or scan the QR code.



#### Explanation of the Purpose and Effect:

The applicants propose to recognize an as-built dock and construct a new single storey boathouse with a rooftop sundeck. Please note that the Township's Committee of Adjustment approved a Minor Variance Application (A-70/22) in January of 2023, granting variances necessary for the construction of a single storey boathouse with a rooftop sundeck and an associated dock. The dock was constructed in a different configuration than approved, and as such, a new application has been submitted to recognize the as-built dock, and to permit a different location for the proposed boathouse. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.7 & 4.1.7.12 c.	Maximum Permitted Cumulative Single Storey Boathouse Width	16.5 ft. (16%)	24.5 ft. (24.2%)	8 ft. (8.2%)	Permit a Single Storey Boathouse with Rooftop Sundeck

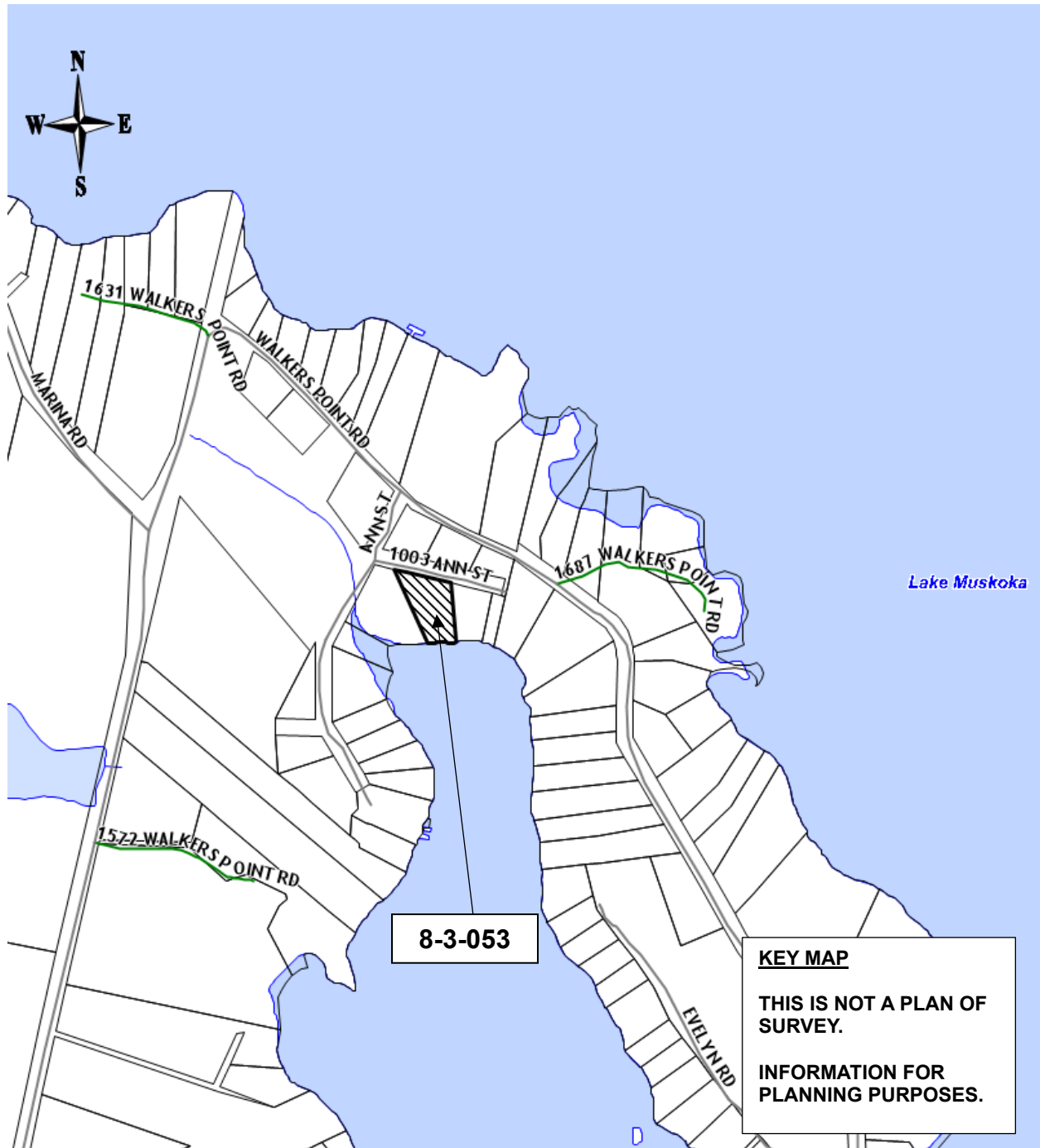


Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
B	4.1.7.11.c	Minimum Easterly Side Yard Setback for a Boathouse with a Rooftop Sundeck	30 ft.	14 ft.	16 ft.	Permit a Single Storey Boathouse with Rooftop Sundeck
C	4.1.7	Minimum Westerly Side Yard Setback for a Boathouse with a Rooftop Sundeck	45 ft.	35.5 ft.	9.5 ft.	Permit a Single Storey Boathouse with Rooftop Sundeck
D	4.1.7	Minimum Westerly Side Yard Setback for a Dock	30 ft.	21 ft.	9 ft.	Recognize an as-built Dock

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



## KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**



## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

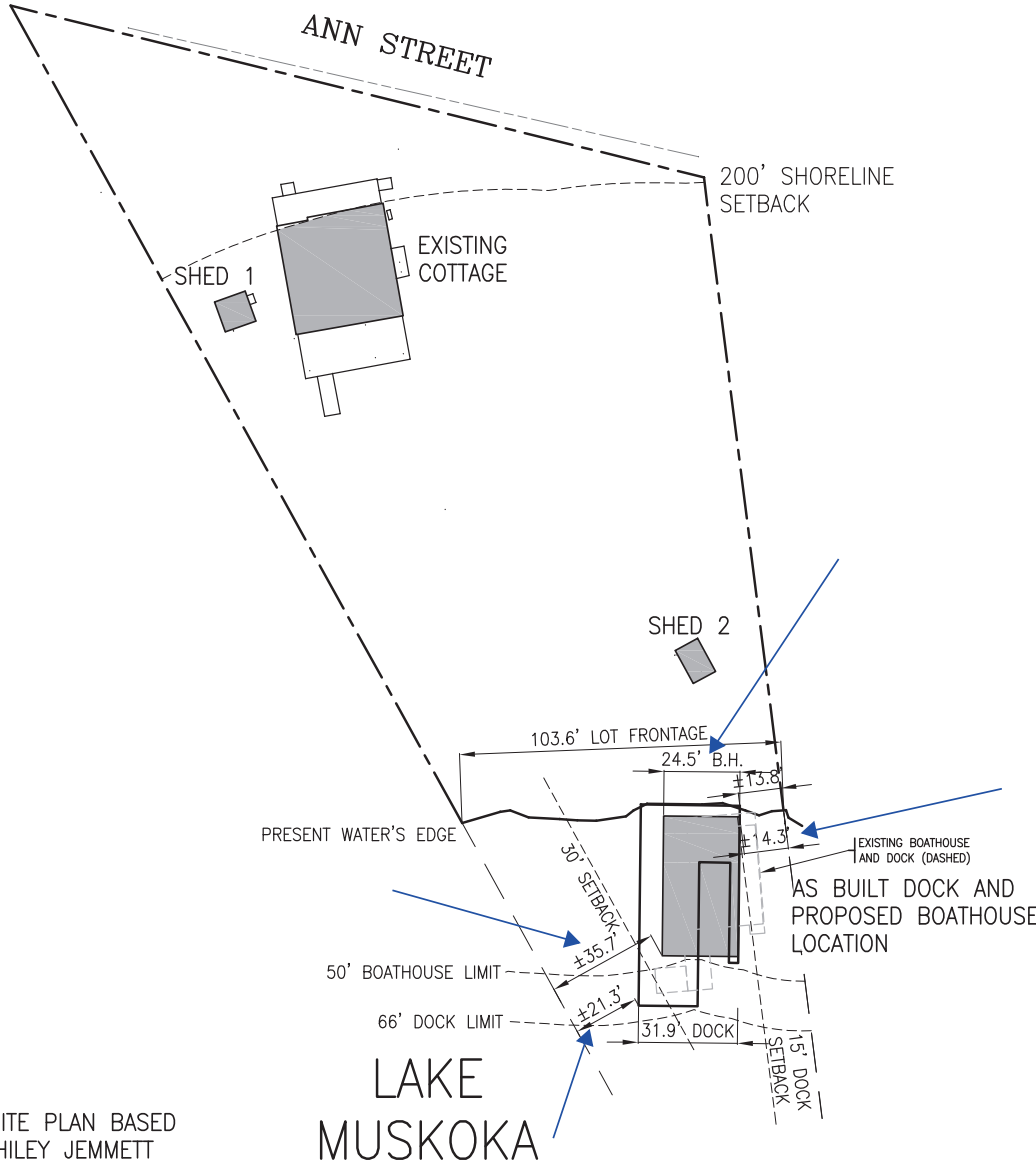
**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes  
this 19th day of December, 2024.

Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)



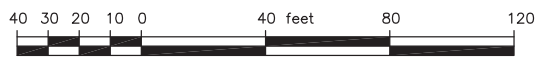
# SITE PLAN



NEW DOCK SITE PLAN BASED  
OFF COOTE HILEY JEMMETT  
SURVEY SKETCH

PART OF LOT 5, CONCESSION 3  
GEOGRAPHIC TOWNSHIP OF WOOD  
TOWNSHIP OF MUSKOKA LAKES

DISTRICT MUNICIPALITY OF MUSKOKA  
SCALE 1" = 40'



DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND CAN BE  
CONVERTED TO METRES BY MULTIPLYING BY 0.3048.

SHERENE & DAVID GRAHAM PROPERTY  
UNIT #4-1003 ANN ST.  
PLAN 21 OF LOT 6  
ROLL #4453-080-0030-5300

NOT TO SCALE

### AREA ANALYSIS

TOTAL SITE AREA:	35818 S.F.	0.82 Ac.
LOT AREA WITHIN 200' OF SHORE	28508 S.F.	0.65 Ac.
EXISTING COTTAGE COVERAGE AREA:	1272 S.F.	
PROPOSED BOATHOUSE COVERAGE AREA:	1103 S.F.	
EXISTING SHEDS COVERAGE AREA:	206 S.F.	
TOTAL LOT COVERAGE	2581 S.F.	
PERCENT COVERAGE WITHIN 200' OF SHORE:		9.1%
WR5 Zoning		