

1 Bailey Street Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-83/24 Roll No.: 6-3-008

Owner:	Rebecca Leigh, 7 Hillholm Drive, Toronto, ON, M5P 1M1						
Address &	1171 Hardy Lake Road, Unit #10						
Description:	Part of Lot 21, Concession 5, Parts 1 to 3, Plan 35R-5171, (Wood)						
Zoning:	Zoning (WR1)	Lake Muskoka	Schedule: 42				
_		(Category 1 Lake)					
Hearing Date: Monday, February 10th, 2025 at 9:00 a.m.							

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit https://www.muskokalakes.ca/planning-notices/ or scan the QR code.



Explanation of the Purpose and Effect:

The applicant proposes to demolish an existing one-storey dwelling, a one-storey boathouse with a rooftop sundeck, and docks and proposes to construct a new two-storey dwelling, dock, and a one-storey boathouse with a rooftop sundeck. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
А	4.1.3.6 & 4.1.3.7	Maximum Permitted Lot Coverage Within 200 feet of the High Water Mark	5,499 sq. ft. (10%)	6,069 sq. ft. (11%)	570 sq. ft. (1%)	Demolish an Existing Dwelling and Construct A New Dwelling And One Storey Boathouse
В	4.1.7	Maximum Permitted	63 ft.	77 ft.	14 ft.	Demolish Existing Docks and Construct A New Dock

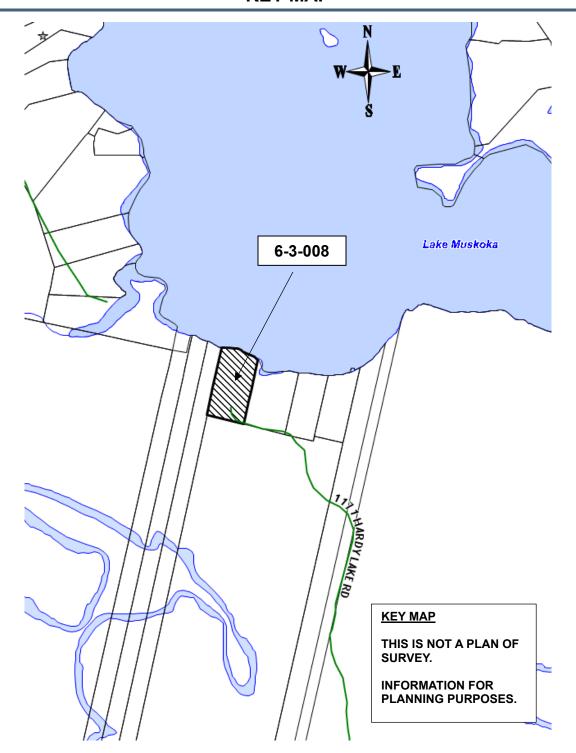


Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
		Cumulative Dock Width				
С	4.1.7 & 4.1.7.9	Maximum Permitted Boathouse Length (First Storey)	50 ft.	52 ft.	2 ft.	Demolish an Existing One Storey Boathouse and Construct A New One Storey Boathouse
D	4.1.7 & 4.1.7.11 b)	Minimum Required Side Yard Setback from the Easterly Side Lot Line Projection (Dock)	15 ft.	5.5 ft.	9.5 ft.	Demolish an Existing Dock and Construct A New Dock
E	4.1.7 & 4.1.7.11 b)	Minimum Required Side Yard Setback from the Easterly Side Lot Line Projection (First Storey Boathouse)	15 ft.	9.5 ft.	5.5 ft.	Demolish an Existing One Storey Boathouse and Construct A New One Storey Boathouse with a Rooftop Sundeck
F	4.1.7 & 4.1.7.11 c)	Minimum Required Side Yard Setback from the Easterly Side Lot Line (Rooftop Sundeck on a Boathouse)	30 ft.	28 ft.	2 ft.	To Construct A New One- Storey Boathouse With A Rooftop Sundeck

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes this 16th day of January, 2025.

Chelsea Ward, Secretary-Treasurer Committee of Adjustment planning@muskokalakes.ca



ROLL NUMBER: 4453-060-003-008-00 OF LAKE MUSKOKA EAST BAY SITE PLAN LOT LINE PROJECTION PART OF LOT 21, CONCESSION 5 GEOGRAPHIC TOWNSHIP OF WOOD 66' SETBACK TOWNSHIP OF MUSKOKA LAKES
DISTRICT MUNICIPALITY OF MUSKOKA PROP. SUNDECK 50' SETBACK 23.40 LAKE MUSKOKA SETBACK TO PROP. SUNDECK PROPOSED DOCK-1171 HARDY LAKE RD. UNIT #10 8.60 EXISTING EXISTING DOCK 1 TO BE REMOVED -EDGE FROM (P2) ORIGINAL NOV 27th 2023 21.2 FLOODED PROP. BOATHOUSE LAND EXIST. BOATHOUSE ROOF OVERHANG EXISTING WALKWAY /STAIRS STRAIGHT! LINE FRONTAGE PROPOSED DOCK (812) (WIT) R 76.78 PROP. STAIRS COVERED DECK 1 EXIST. DOCK AND LANDING TO BE REMOVED (812) LAKE MUSKOKA DOCK 2 METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048. 50' SETBACK EAST BAY OF LINE 13.99 EDGE FROM (P2) 11.45 FLOODED LAND OF LEGEND SETBAC 66' LINE WATER'S DECK TO-BE REM. EXISTING GARAGE AND SLEEPING CABIN **RED LINES** STAIRS EXISTING GRAVEL DRIVEWAY EXISTING SEPTIC LIDS RIB (812) GARAGE OVERHANG SST & FENCE & = TO BE REMOVED GRAVEL DRIVEWAY SUBJECT TO EASEMENT IN LT95632 SEPTIC LIDE PART 2 35R-5171 **HYDRO OMETER** = PROPOSED 84.161 OVERHEAD WIRES EXIST. SEPTIC BED GENERATOR HBP FRONT Ow Ow 9,00,E IRREGULAR FRONTAGE +/- 101 STRAIGHT LINE FRONTAGE = 76.78 AREA TABLE 66. AREA (SQ. M) OVERHEAD WIRES DESCRIPTION LOT FRONT 61 5109 EXISTING FRAME DWELLING 184.3 HBTP EXISTING DECKS 139.5 PROPOSED SITE PLAN (BLOWUP) SCALE 1:300 EXISTING DOCK 2 (BOATHOUSE) 143.3 115.8 **EXISTING BOATHOUSE** EXISTING GARAGE 181.5 SSIB (812) EXISTING SITE PLAN NOT TO SCALE PROPOSED ROATHOUSE 148 6 GRAVEL DRIVEWAY PROPOSED DOCKS (EXCL. BH DOCKS) 172.3 DATE OCTOBER 29 2024 OWNERS INFORMATION PROJECT NO SITE PLAN REBECCA JANE LEIGH 1171 HARDY LAKE ROAD UNIT #10 MUSKOKA LAKES PROJECT NEW COTTAGE + BH ARCHER Phone 705-641-1065
Phone: 647-688-3494

DESIGN + DENSULTING EMAIL : carcher@archerdesign.ca 2. DEC. 2/2024 MODIFIED 50' AND 66' SHORELINE SETBACK LINES (LAND SIDE) DRAWN BY 1. NOV. 19/2024 ADD RED LINES FOR ITEMS TO BE REMOVED **NOT TO SCALE** NO. DATE DESCRIPTION S1 **I REVISIONS**

DWELLING - ELEVATIONS



FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

ARCHER Phone 705-641-1065 Phone: 647-688-3494 DRAWN 6V DTTAGE

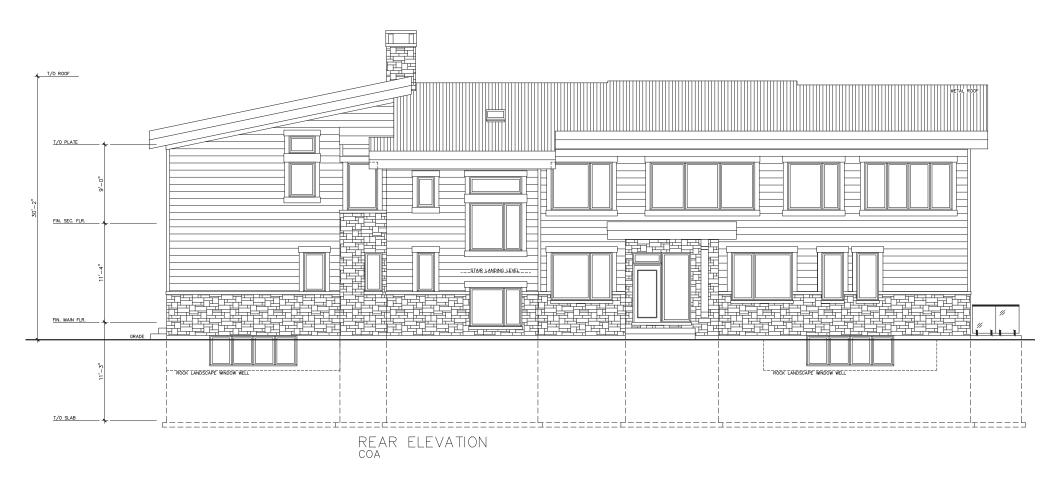
PROJECT NEW COTTAGE

PROMET INFORMATION REBECCA JANE LEIGH 1171 HARDY LAKE ROAD UNIT #10 MUSKÓKA LAKES

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ARCHER Phone 705-641-1065 Phone: 647-688-3494 PROJECT NEW COTTAGE

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OWNERS INFORMATION RIGHT AND LEFT LEVATIONS

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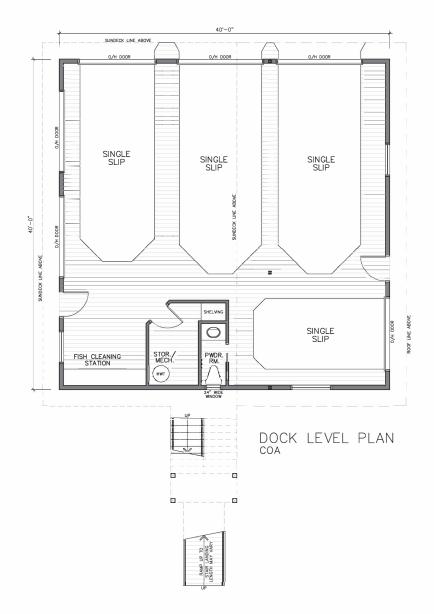
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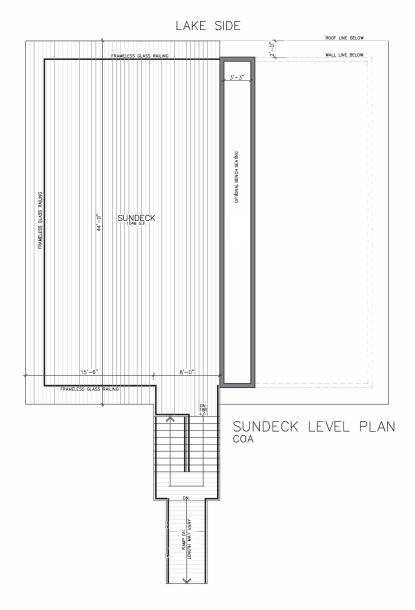
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PROJECT NO. OTHER DATE OF CALL CONTROL OF

BOATHOUSE - FLOOR PLANS





FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

Phone 705-641-1065	PROJECT	OWNERS INFORMATION REBECCA JANE LEIGH	DECK LEVEL PLAN			3/16"=1'-0"	OCTOBER 29 2024	PROJECT NO.
ARCHER Phone: 647-688-3494 EMAIL: cgrcher@grcherdesign.cg	NEW BOATHOUSE	1171 HARDY LAKE ROAD UNIT #10				C.A.	CHECKED BY C.A.	
DESIGN + CONSULTING WEBSITE: archerdesign.ca	1.00	MUSKOKA LAKES		REVISIONS	DESCRIPTION	FILE NAME 2024-040F-BOAT		A1

