



1 Bailey Street  
Port Carling, ON P0B 1J0

E: [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) P: 705-765-3156 F: 705-765-6755

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

### THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: A-83/24**

**Roll No.: 6-3-008**

<b>Owner:</b>	Rebecca Leigh, 7 Hillholm Drive, Toronto, ON, M5P 1M1		
<b>Address &amp; Description:</b>	1171 Hardy Lake Road, Unit #10 Part of Lot 21, Concession 5, Parts 1 to 3, Plan 35R-5171, (Wood)		
<b>Zoning:</b>	Zoning (WR1)	Lake Muskoka (Category 1 Lake)	Schedule: 42
<b>Hearing Date: Monday, February 10th, 2025 at 9:00 a.m.</b>			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



#### Explanation of the Purpose and Effect:

The applicant proposes to demolish an existing one-storey dwelling, a one-storey boathouse with a rooftop sundeck, and docks and proposes to construct a new two-storey dwelling, dock, and a one-storey boathouse with a rooftop sundeck. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3.6 & 4.1.3.7	Maximum Permitted Lot Coverage Within 200 feet of the High Water Mark	5,499 sq. ft. (10%)	6,069 sq. ft. (11%)	570 sq. ft. (1%)	Demolish an Existing Dwelling and Construct A New Dwelling And One Storey Boathouse
B	4.1.7	Maximum Permitted	63 ft.	77 ft.	14 ft.	Demolish Existing Docks and Construct A New Dock

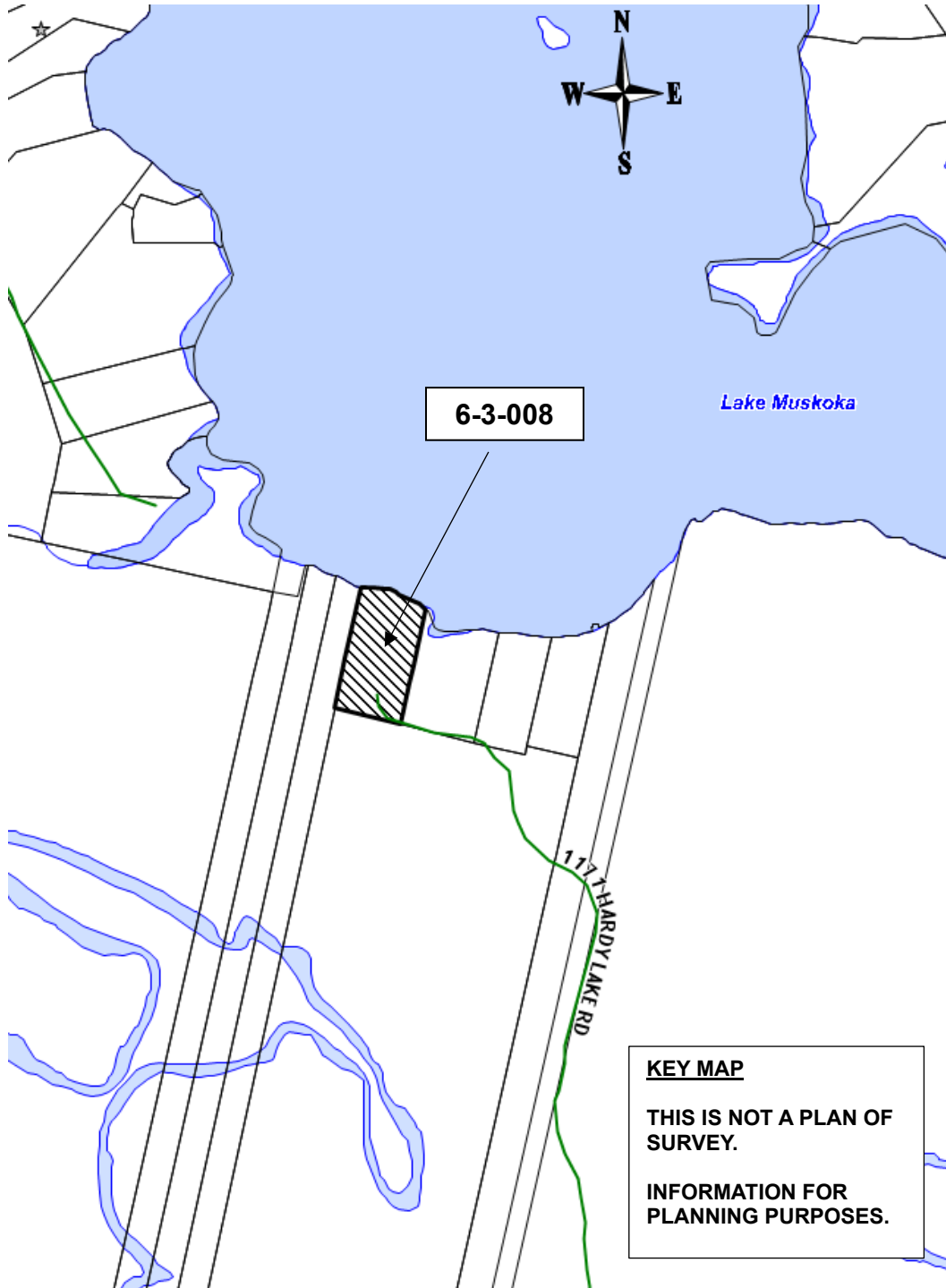


Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
		Cumulative Dock Width				
C	4.1.7 & 4.1.7.9	Maximum Permitted Boathouse Length (First Storey)	50 ft.	52 ft.	2 ft.	Demolish an Existing One Storey Boathouse and Construct A New One Storey Boathouse
D	4.1.7 & 4.1.7.11 b)	Minimum Required Side Yard Setback from the Easterly Side Lot Line Projection (Dock)	15 ft.	5.5 ft.	9.5 ft.	Demolish an Existing Dock and Construct A New Dock
E	4.1.7 & 4.1.7.11 b)	Minimum Required Side Yard Setback from the Easterly Side Lot Line Projection (First Storey Boathouse)	15 ft.	9.5 ft.	5.5 ft.	Demolish an Existing One Storey Boathouse and Construct A New One Storey Boathouse with a Rooftop Sundeck
F	4.1.7 & 4.1.7.11 c)	Minimum Required Side Yard Setback from the Easterly Side Lot Line (Rooftop Sundeck on a Boathouse)	30 ft.	28 ft.	2 ft.	To Construct A New One-Storey Boathouse With A Rooftop Sundeck

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



## KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**



## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes  
this 16th day of January, 2025.

Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)





# DWELLING - ELEVATIONS



FRONT ELEVATION  
COA

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

**ARCHER** Phone 705-641-1065  
DESIGN + CONSULTING Phone: 647-688-3494  
EMAIL : carcher@archerdesign.ca

PROJECT  
NEW COTTAGE

OWNERS INFORMATION  
REBECCA JANE LEIGH  
1171 HARDY LAKE ROAD  
UNIT #10  
MUSKOKA LAKES

FRONT ELEVATION

NO.	DATE	DESCRIPTION

SCALE NTS	DATE OCTOBER 28 2024	PROJECT NO.
DRAWN BY C.A.	CHECKED BY C.A.	DRAWING NO. A3
FILE NAME 2024-04E-COTTAGE		

# DWELLING - ELEVATIONS



REAR ELEVATION  
COA

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**ARCHER** Phone: 705-641-1065  
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EMAIL: carcher@archerdesign.ca

PROJECT  
NEW COTTAGE

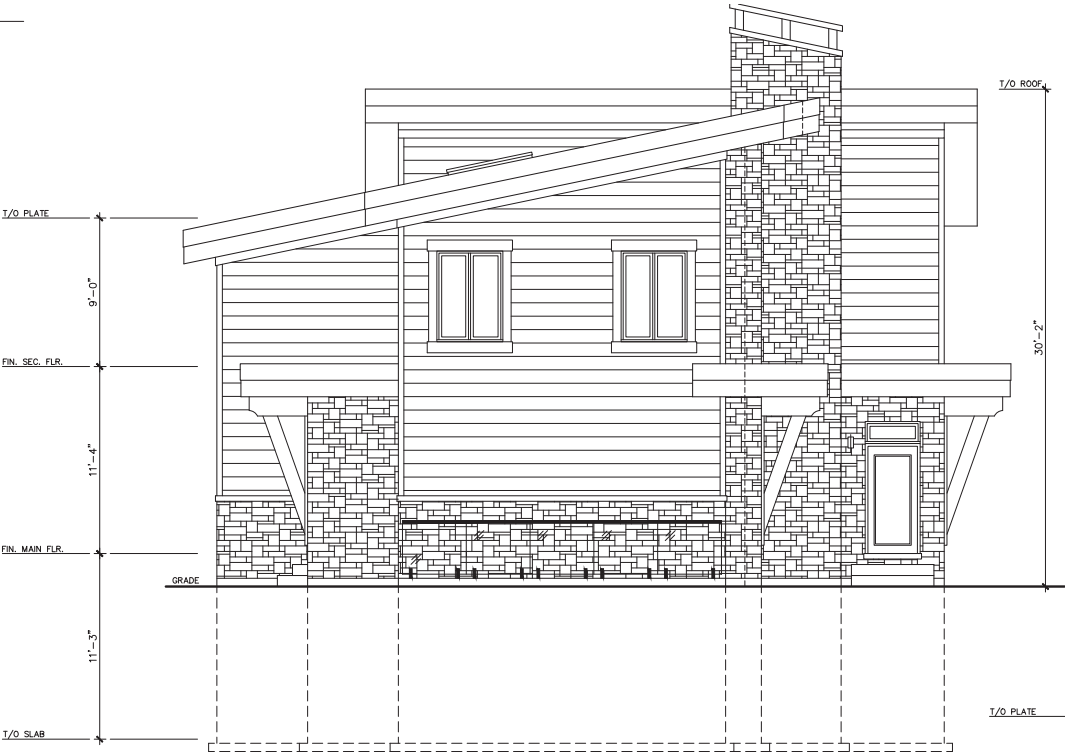
OWNERS INFORMATION  
REBECCA JANE LEIGH  
1171 HARDY LAKE ROAD  
UNIT #10  
MUSKOKA LAKES

REAR ELEVATION

NO.	DATE	DESCRIPTION

SCALE NTS	DATE OCTOBER 28 2024	PROJECT NO.
DRAWN BY C.A.	CHECKED BY C.A.	DRAWING NO. A4
FILE NAME 2024-04E-COTTAGE		

# DWELLING - ELEVATIONS



LEFT ELEVATION  
COA



RIGHT ELEVATION  
COA

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PROJECT  
NEW COTTAGE

OWNERS INFORMATION  
 REBECCA JANE LEIGH  
 1171 HARDY LAKE ROAD  
 UNIT #10  
 MUSKOKA LAKES

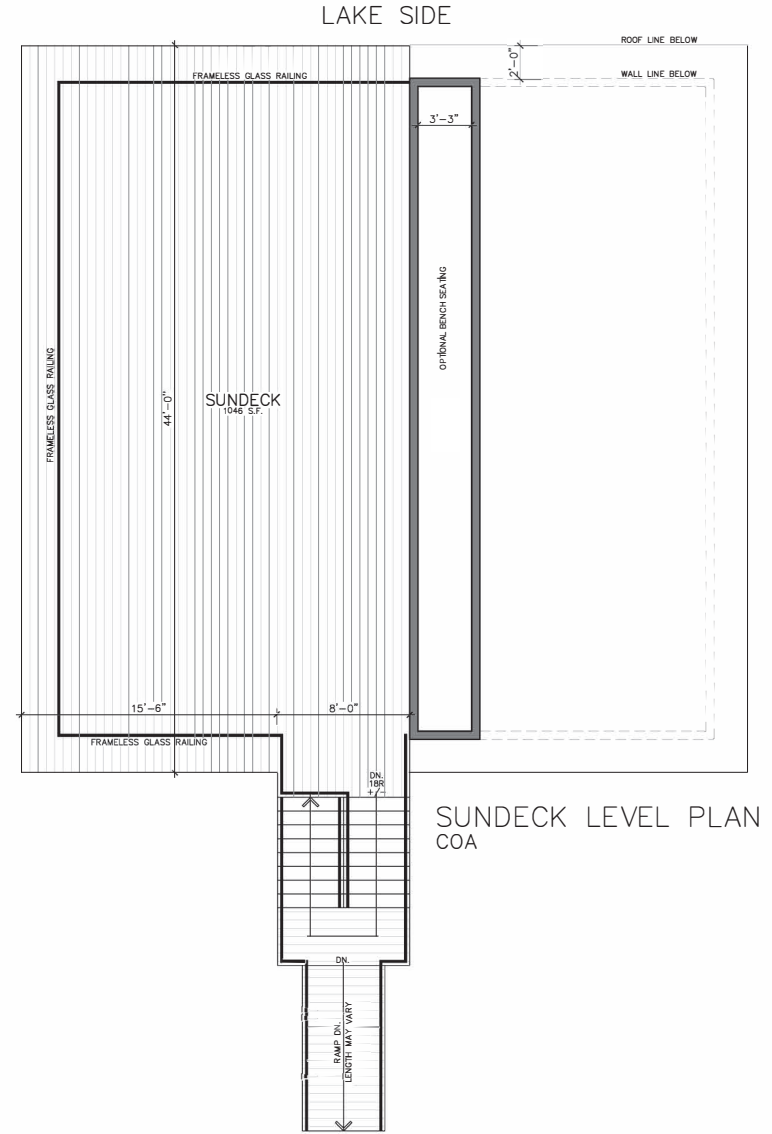
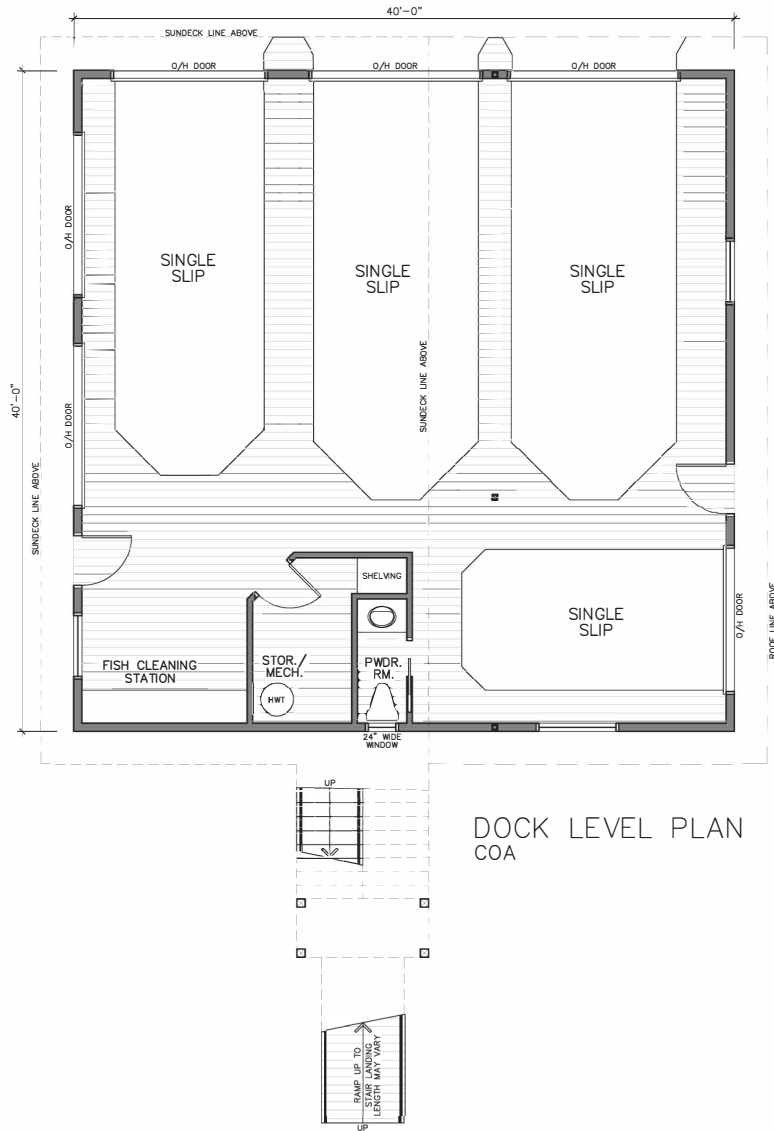
RIGHT AND LEFT  
ELEVATIONS

NO.	DATE	DESCRIPTION

SCALE NTS	DATE OCTOBER 28 2024	PROJECT NO.
DRAWN BY C.A.	CHECKED BY C.A.	DRAWING NO. A5
FILE NAME 2024-04E-COTTAGE		



# BOATHOUSE - FLOOR PLANS



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**ARCHER**  
DESIGN + CONSULTING

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EMAIL : carcher@archerdesign.ca  
WEBSITE: archerdesign.ca

PROJECT  
NEW BOATHOUSE

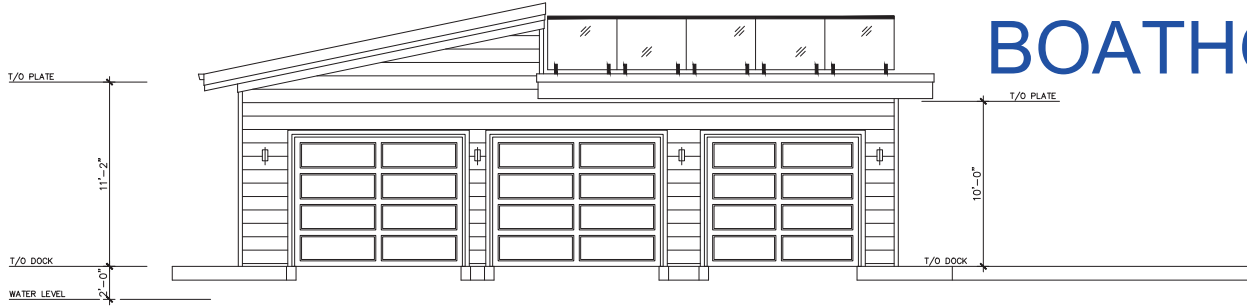
OWNERS INFORMATION  
REBECCA JANE LEIGH  
1171 HARDY LAKE ROAD  
UNIT #10  
MUSKOKA LAKES

DECK LEVEL PLAN

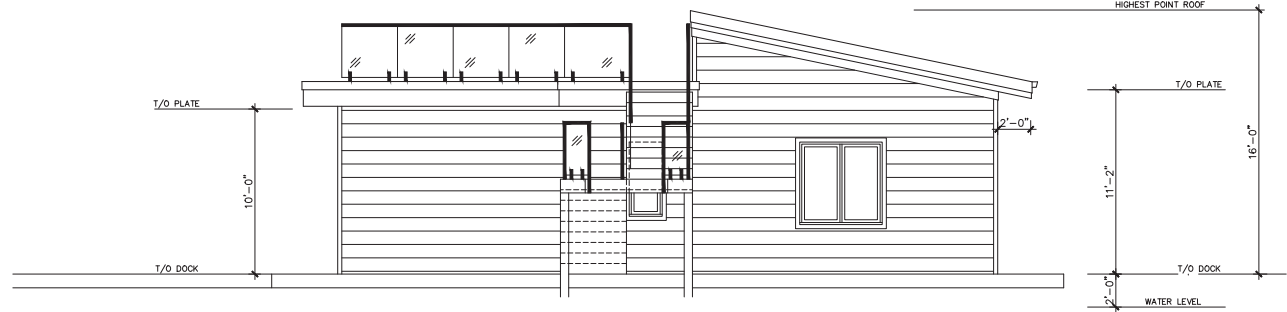
NO.	DATE	DESCRIPTION

SCALE 3/16"=1'-0"	DATE OCTOBER 29 2024	PROJECT NO.
DRAWN BY C.A.	CHECKED BY C.A.	DRAWING NO. A1
FILE NAME 2024-045F-BOATHOUSE		

# BOATHOUSE - ELEVATIONS



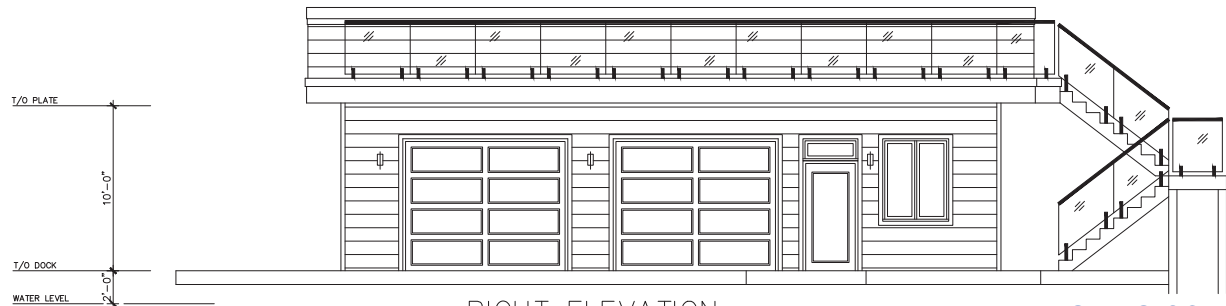
FRONT ELEVATION  
COA



REAR ELEVATION  
COA



LEFT ELEVATION  
COA



RIGHT ELEVATION  
COA

NOT TO SCALE

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PROJECT  
NEW BOATHOUSE

OWNERS INFORMATION  
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1171 HARDY LAKE ROAD  
UNIT #10  
MUSKOKA LAKES

SUNDECK LEVEL PLAN  
ELEVATIONS

NO.	DATE	DESCRIPTION

SCALE  
3/16"=1'-0"  
DATE  
OCTOBER 29 2024  
DRAWN BY  
C.A.  
CHECKED BY  
C.A.  
FILE NAME  
2024-040F-BOATHOUSE

PROJECT NO.  
  
DRAWING NO.  
A2