



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

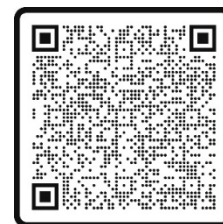
THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-81/24
Roll No.: 4-19-060

Owner:	Roger Oatley, 50 Yorkville Avenue, Unit #3101, Toronto, ON, M4W 0A3		
Address & Description:	234 Jeanmarie Road, Unit #2 Lot 17, Concession 14, Parts 1 and 2, Plan 35R-7867, (Medora)		
Zoning:	Waterfront Residential (WR4)	Lake Joseph (Category 1)	Schedule: 20
Hearing Date: Monday, November, 11th, 2024 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

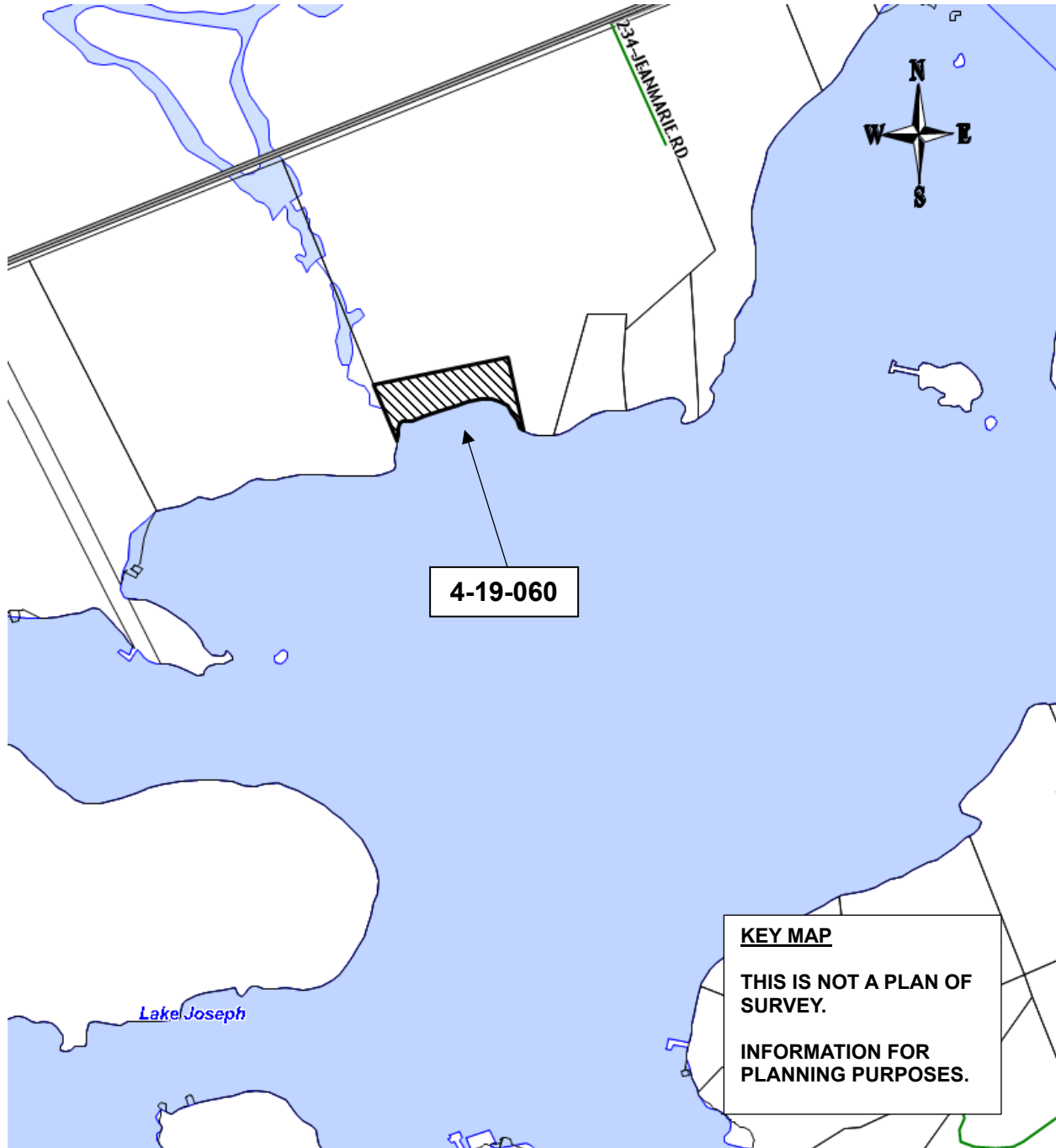
The applicant proposes to recognize an as-built generator and propane tanks. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3	Minimum Required Rear Yard Setback	15 ft.	7ft.	8 ft.	Recognize the Setback of Existing Propane Tanks.
B	4.1.3	Minimum Required Rear Yard Setback	15 ft.	4.5 ft.	10.5 ft.	Recognize the Setback of an Existing Generator.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

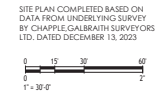
Dated at the Township of Muskoka Lakes
this 30th day of October, 2024.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



**234 JEAN MARIE ROAD, UNIT 2
PART OF LOT 17 CONCESSION 14
GEOGRAPHIC TOWNSHIP OF MEDORA
TOWNSHIP OF MUSKOKA LAKES**

SITE PLAN

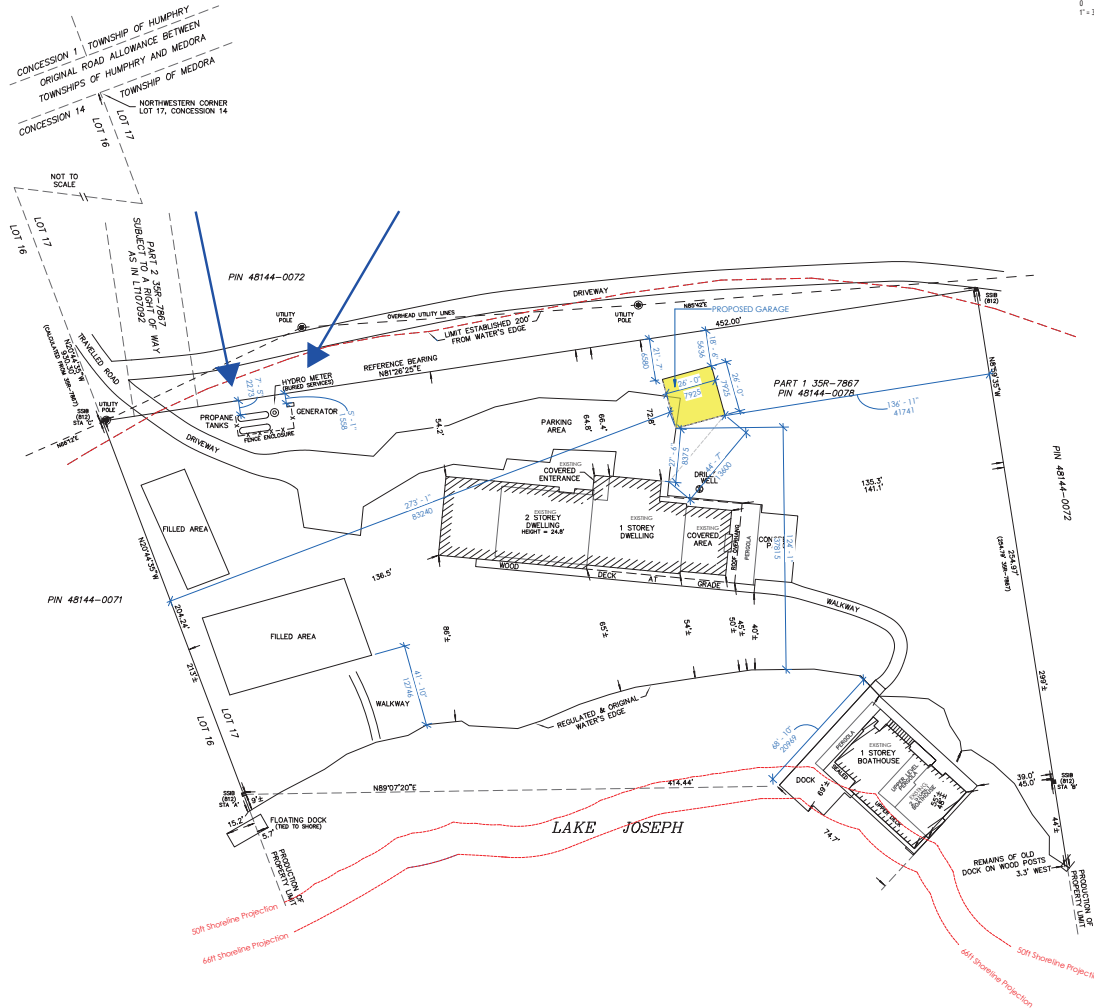
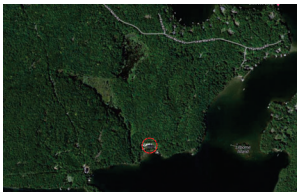


PROPERTY STATISTICS	
Zoning Description	WR4
Total Lot Area	83,395 R ² (7,748m ²)
Lot Area Within 61m of Waters Edge	83,000 R ² (7,711m ²)
Straight Line Frontage	419 Ft (127.7m)
MAXIMUM LOT COVERAGE (TOTAL LOT)	10%
MAX. LOT COVERAGE (WITHIN 200FT)	10%

AREAS OF EXISTING STRUCTURES		
	SQFT.	SQM.
EXISTING DWELLING & COVERED AREAS	5,911	549.15
EXISTING BOATHOUSE & COVERED AREAS	2,214	205.69
TOTAL AREA OF EXISTING STRUCTURES	8,125	754.84

AREA OF PROPOSED GARAGE		
	SQFT.	SQM.
PROPOSED GARAGE TOTAL AREA	676	62.80
PROPOSED GARAGE AREA WITHIN 200FT	676	62.80

LOT COVERAGE CALCULATIONS	
	%
EXISTING LOT COVERAGE WITHIN 200FT (61M)	9.79
PROPOSED LOT COVERAGE WITHIN 200FT (61M)	10.60
EXISTING LOT COVERAGE TOTAL LOT	9.74
PROPOSED LOT COVERAGE TOTAL LOT	10.55



Ⓐ Site Plan
1" = 30'-0"

NOT TO SCALE

Spencer Douglas

PLANNING ■ DESIGN

No.	Description	Date
1	For Review	February 12 2024
2	Not To Scale Added	February 13 2024
3	Garage Location Revised	February 28 2024
4	Garage Size Revised	April 01 2024
5	Lot 17 Coverage Added	April 11 2024
6	6ft & 5ft Setback Lines Added & Dock Dimensions	May 29 2024
7	Filled Area Added	August 19 2024
8	Setback to Existing Sand Area, Propane Tank, And Generator Added	September 9th 2024

SHEET LIST

No.	Description	Date
1	Site Plan	February 12 2024
2	Site Plan	February 13 2024
3	Site Plan	February 28 2024
4	Site Plan	April 01 2024
5	Site Plan	April 11 2024
6	Site Plan	May 29 2024
7	Site Plan	August 19 2024
8	Site Plan	September 9th 2024

Design Criteria:
 Ground Snow Load (Sg): 3.1kPa
 Associated Rain Load (Sr): 0.4 kPa
 Specified Snow Load: 2.105 kPa
 Base Wind Pressure (q/150): 0.4kPa

Client Name: Oatley
Address: 234 Jean Marie Road, Unit 2
 Township of Muskoka Lakes
Engineer Seal:

Designer:
 The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATIONS INFORMATION
 Required unless design is exempt under 2.17.5.1 of the building code.

xx
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the building code.
 Spencer Douglas LTD 11743
FIRM NAME FIRM BCIN

Sheet Name
 Site Plan & Lot Statistics
Project Number SD24-0201
Date 9/9/2024 11:09:50 AM
Drawn By CM
Checked By NM
Scale As indicated