



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-78/24

Roll No.: 6-21-072

| | | | |
|--|--|---------------------------|--------------|
| Owner: | Natalia Panagiotakopoulos, 260 Adelaide Street East, Suite 211, Toronto, ON, M5A 1N1 | | |
| Address & Description: | 1043 Wynanne Drive Lot 20, Concession A, Lot 19, Plan 38, Acton Island, (Medora) | | |
| Zoning: | Waterfront Residential (WR1-7 & WR1-7R) | Lake Muskoka (Category 1) | Schedule: 42 |
| Hearing Date: Monday, November, 11th, 2024 at 9:00 a.m. | | | |

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

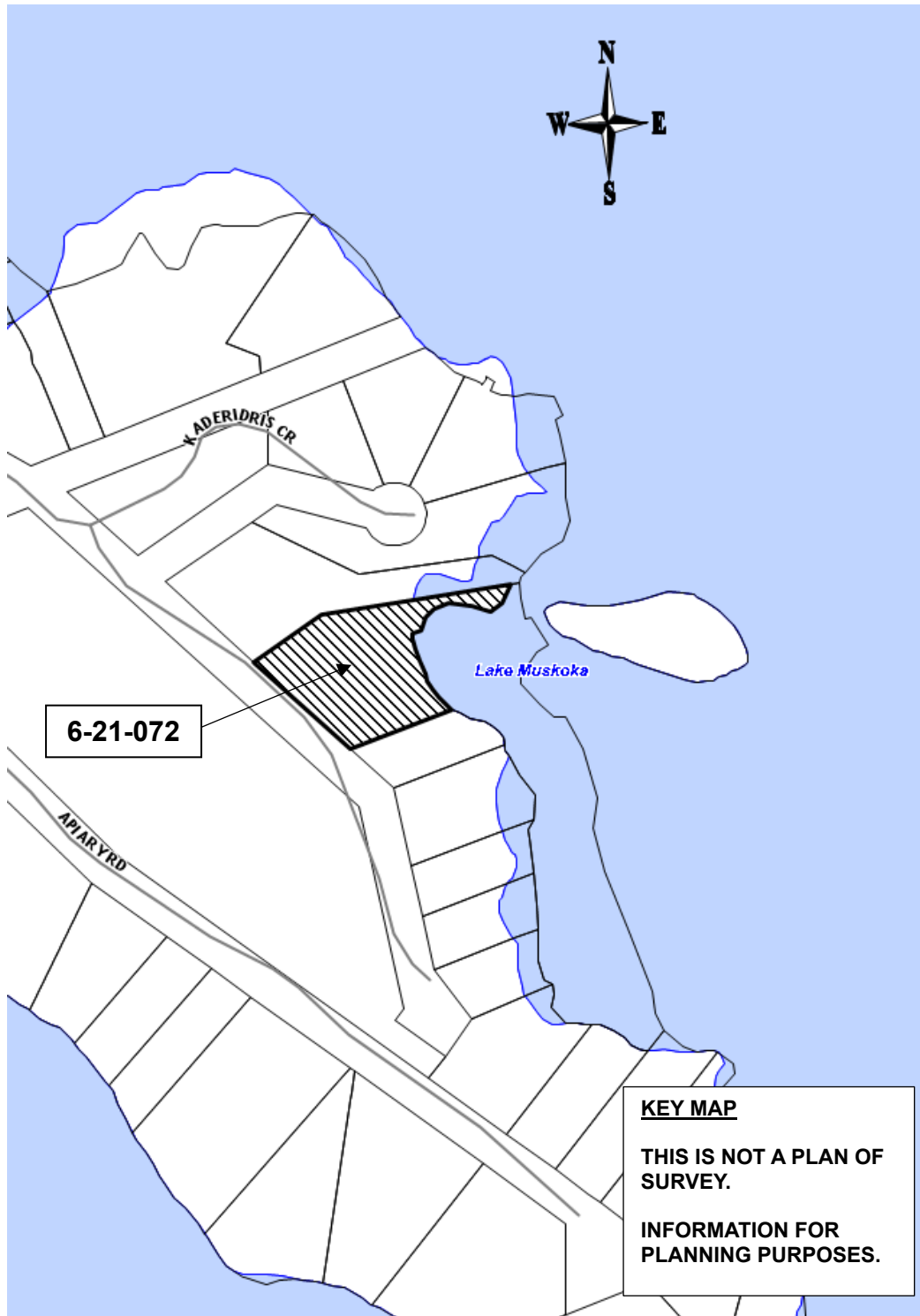
The applicant proposes to construct accessory buildings and structures (sleeping cabin, sauna, and dock) prior to the establishment of a main building (dwelling). The following is a summary of the requested variances:

| Variance | ZBL 2014-14 Section(s) | Description | Proposal |
|----------|------------------------|-----------------------|--|
| A | 3.5.1 and 4.1.2 | Construction Sequence | Construct an Accessory Sleeping Cabin, prior to the Establishment of a Main Building (Dwelling). |
| B | 3.5.1 and 4.1.2 | Construction Sequence | Construct an Accessory Sauna prior to the Establishment of a Main Building (Dwelling). |
| C | 3.5.1 and 4.1.2 | Construction Sequence | Construct an Accessory Dock prior to the Establishment of a Main Building (Dwelling). |

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 30th day of October, 2024.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



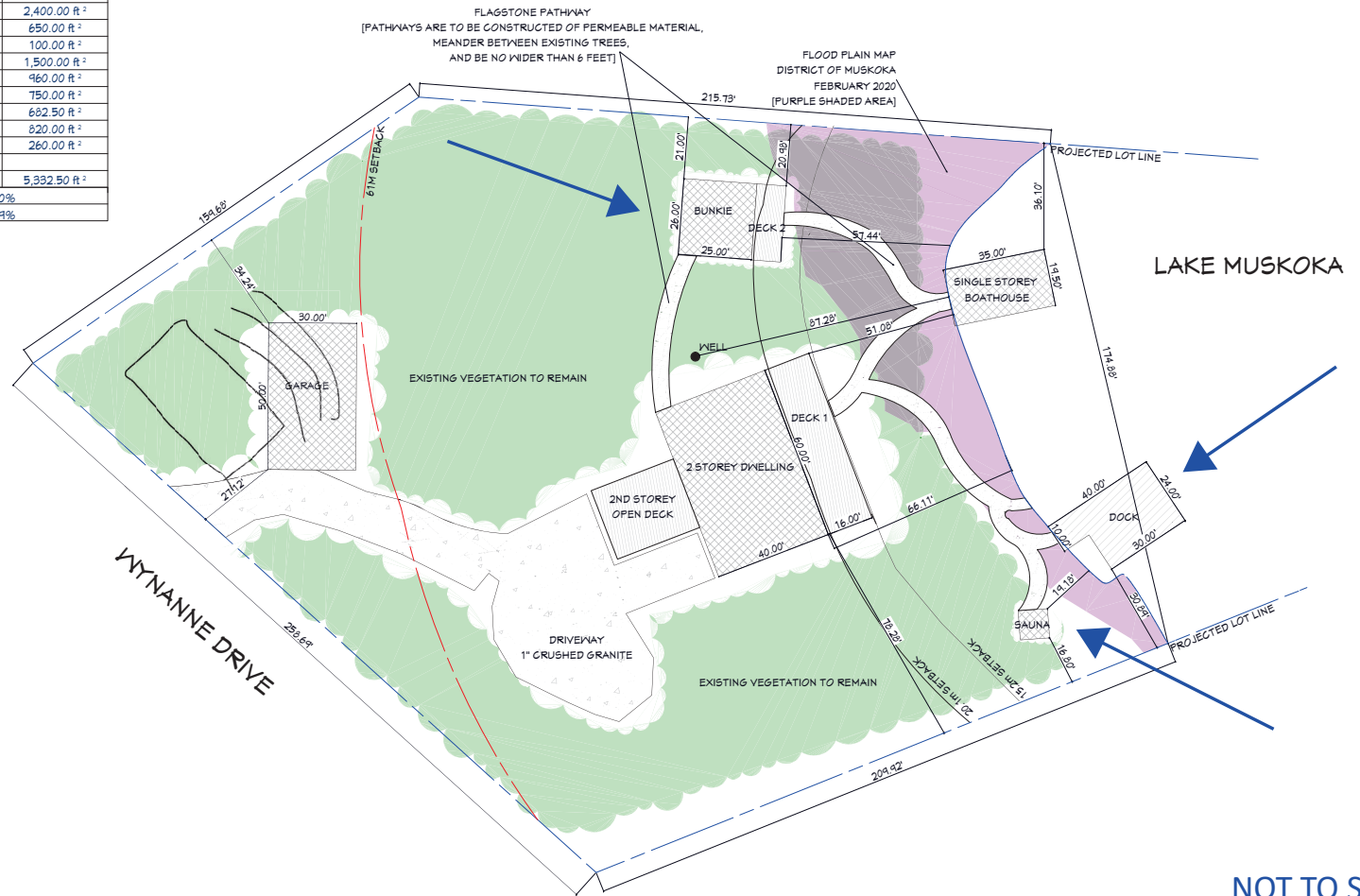
WYNANNE DRIVE

SCALE 1" = 40'-0"
SITE PLAN



| | | | |
|-------------------------|--------------------------------------|---|---------------------------|
| SITE DATA WYNANNE DRIVE | | 4453 060 021 07200 | |
| LOT No | | CON A LOT 20 PLAN 38 LOT 19 | |
| ZONING | | ISLAND ACTON (W1-7(W1-7R)) WATERFRONT RESIDENTIAL CATEGORY 1 | |
| LOT FRONTAGE | STRAIGHT LINE | 30.78 m | 174.82' ft |
| | ALONG PRESENT WATERS EDGE | 30.48 m | 213.00' ft |
| FRONT YARD SETBACK | 20.1m (66ft) | | |
| INTERIOR YARD SETBACK | 4.6m (15ft) | | |
| EXTERIOR YARD SETBACK | 9.1m (30ft) | | |
| REAR YARD SETBACK | 4.6m (15ft) | | |
| MAXIMUM HEIGHT | 10.7m (35ft) | | |
| ACCESSORY | | | |
| BUILDING HEIGHT | 6.1m (20ft) | | |
| LOT AREA | TOTAL LOT AREA | 5,544.19 m ² | 59,677.20 ft ² |
| | WITHIN 200' OF HIGH WATER MARK | 4,450.82 m ² | 47,908.28 ft ² |
| PROPOSED | | | |
| 2 STOREY DWELLING | | 222.97 m ² | 2,400.00 ft ² |
| BUNKIE | | 60.39 m ² | 650.00 ft ² |
| SAUNA | | 9.29 m ² | 100.00 ft ² |
| 3 CAR GARAGE | | 139.35 m ² | 1,500.00 ft ² |
| DECK 1 | | 89.14 m ² | 960.00 ft ² |
| 2ND STOREY OPEN DECK | | 69.68 m ² | 750.00 ft ² |
| BOAT HOUSE | | 63.41 m ² | 682.50 ft ² |
| DOCK | | 76.18 m ² | 820.00 ft ² |
| DECK 2 | | 24.15 m ² | 260.00 ft ² |
| TOTAL ROOF COVERAGE | | 495.41 m ² | 5,332.50 ft ² |
| LOT COVERAGE | PROPOSED (WITHIN 200ft OF SHORELINE) | | 8.0% |
| | PROPOSED (ENTIRE LOT) | | 8.9% |

ALL EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT
ALL VEGETATION BETWEEN THE DWELLING AND THE HIGH WATER MARK SHALL REMAIN IN ITS NATURAL STATE.
ALL TREE REMOVAL AND GRADING / FILLING MUST COMPLY WITH THE TREE PRESERVATION AND SITE ALTERATION BY-LAWS



NOT TO SCALE



THE PERMIT GUY
35 COVERED BRIDGE TRAIL
BRACEBRIDGE, ON
P1L 1Y1

705-644-1167
Permits@ThePermitGuy.ca