



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-77/24

Roll No.: 4-5-027

Owners:	Raymond James & Holly Langley, 1197 Hamills Point Road, Mactier, ON, P0C 1H0		
Address & Description:	1197 Hamills Point Road Part of Lot 8, Plan M432, Part 1, Plan 35R-25930, (Medora)		
Zoning:	Waterfront Residential (WR4)	Lake Joseph (Category 1 Lake)	Schedule: 27
Hearing Date: Monday, November, 11th, 2024 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

The applicants propose to construct a two-storey sleeping cabin. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3 & 4.1.3.6	Maximum Permitted Lot Coverage	10% (2,884 sq. ft.)	10.9% (3,157 sq. ft.)	0.9% (273 sq. ft.)	Construct A Two-Storey Sleeping Cabin.
B	4.1.3	Minimum Required Front Yard Setback (Sleeping Cabin)	66 ft.	53 ft.	13 ft.	Construct A Two-Storey Sleeping Cabin.



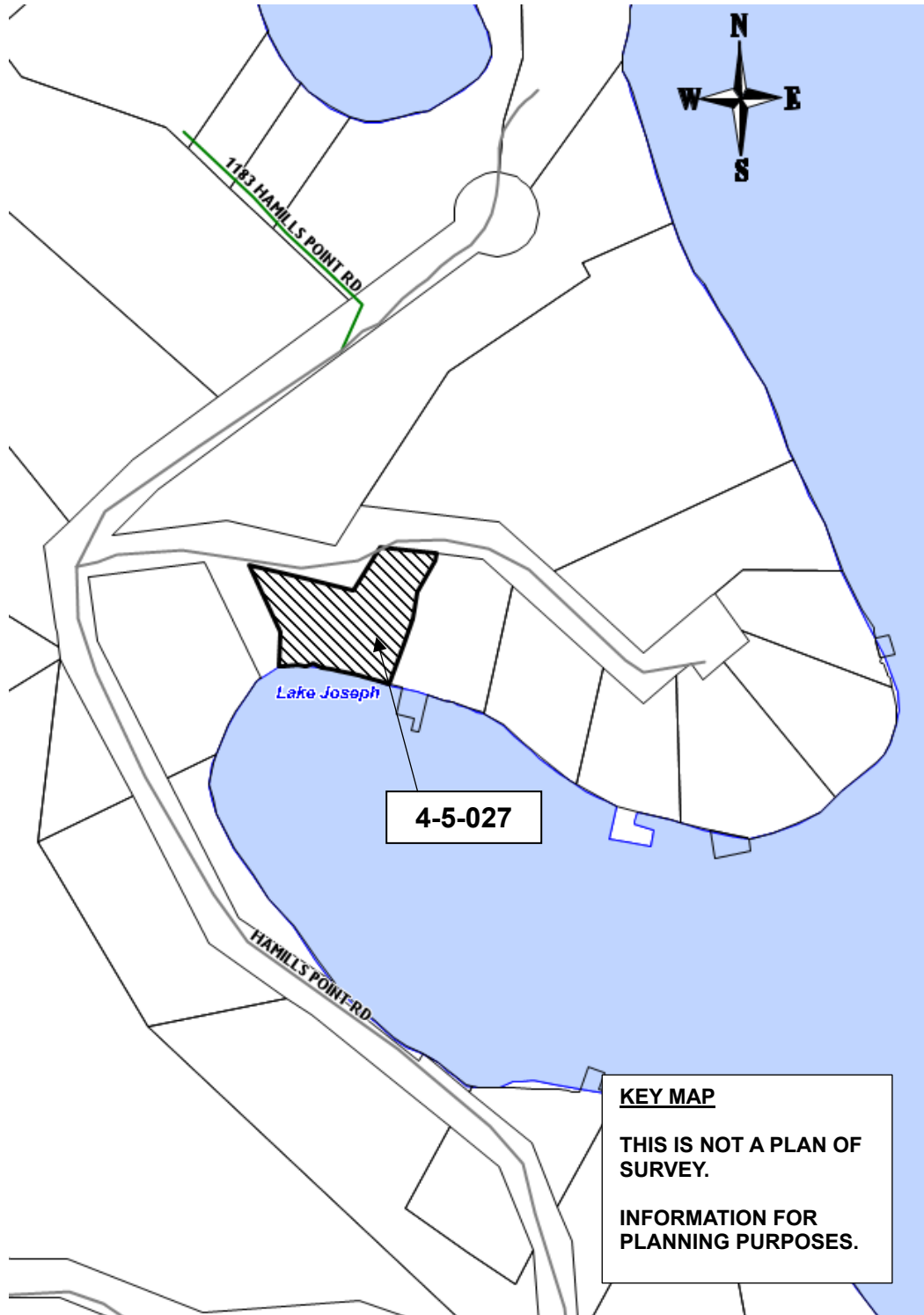
Notice of Hearing
A-77/24, James & Langley

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
C	4.1.3	Minimum Required Rear Yard Setback (Sleeping Cabin)	15 ft.	5 ft.	10 ft.	Construct A Two-Storey Sleeping Cabin.
D	3.23.1	Setback from a Lot Line Abutting a Street (Sleeping Cabin)	25 ft.	5 ft.	20 ft.	Construct A Two-Storey Sleeping Cabin.
E	4.1.3	Minimum Required Rear Yard Setback (Stairs and Landing)	15 ft.	11.9 ft.	3.1 ft.	Construct Attached Stairs and Landing
F	3.23.1	Setback from a Lot Line Abutting a Street (Stairs and Landing)	25 ft.	11.9 ft.	13.1 ft.	Construct Attached Stairs and Landing

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

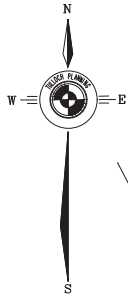
PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 30th day of October, 2024.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



SITE PLAN



SITE PLAN DATA

PIN: 48146-0262
 ADDRESS: 1197 HAMILLS POINT ROAD, MUSKOKA LAKES
 LEGAL DESCRIPTION
 LOT 8, RP M-342
 GEOGRAPHIC TOWNSHIP OF MEDORA
 NOW IN THE TOWNSHIP OF MUSKOKA LAKES
 DISTRICT MUNICIPALITY OF MUSKOKA

	REQUIRED	PROVIDED
LOT AREA:	As Existing	28,842sf (0.66ac)
LOT FRONTAGE:	As Existing	199.07ft
LOT COVERAGE:		
- Cat. 1 Lake:	10%	10.95% (3,157sf)

SETBACKS TO PROPOSED CABIN

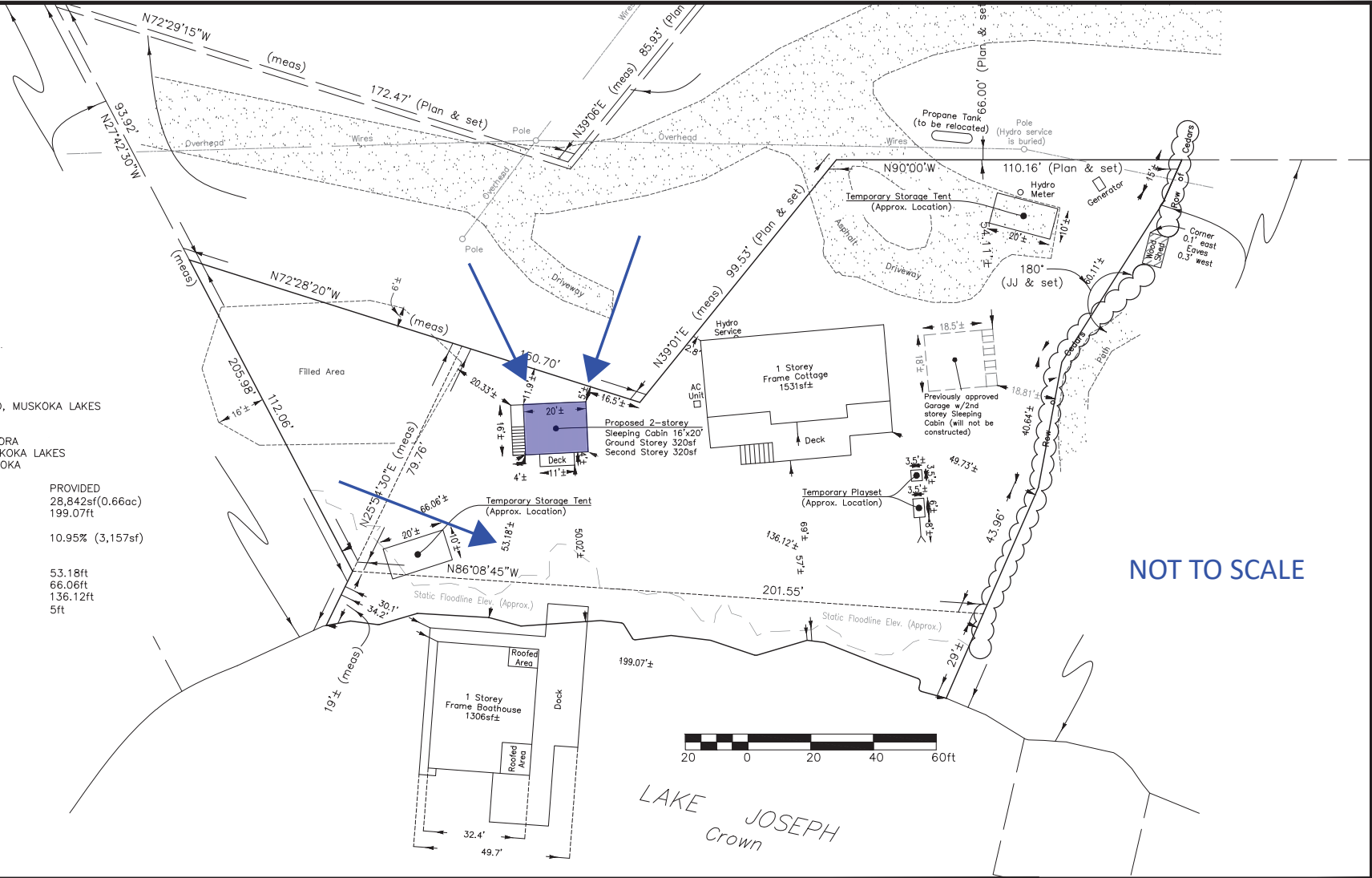
FRONT YARD:	66ft	53.18ft
EXTERIOR YARDS:	30ft	66.06ft
INTERIOR YARD	15ft	136.12ft
REAR YARD/ROW:	15ft	5ft

CAUTION

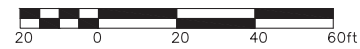
THE PROPERTY BOUNDARIES ILLUSTRATED ON THIS PLAN ARE BASED ON REGISTRY PLANS AND HAVE NOT BEEN CONFIRMED.
 THIS SKETCH IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF TULLOCH ENGINEERING. © TULLOCH ENGINEERING, 2024.

E:\2024\241019 Langley Proposed Site Plan - 1197 Hamills Point Rd., Muskoka (Removal) 07 Drawing\241019_Site Plan_MSP\2024 - 2024-09-24.dwg



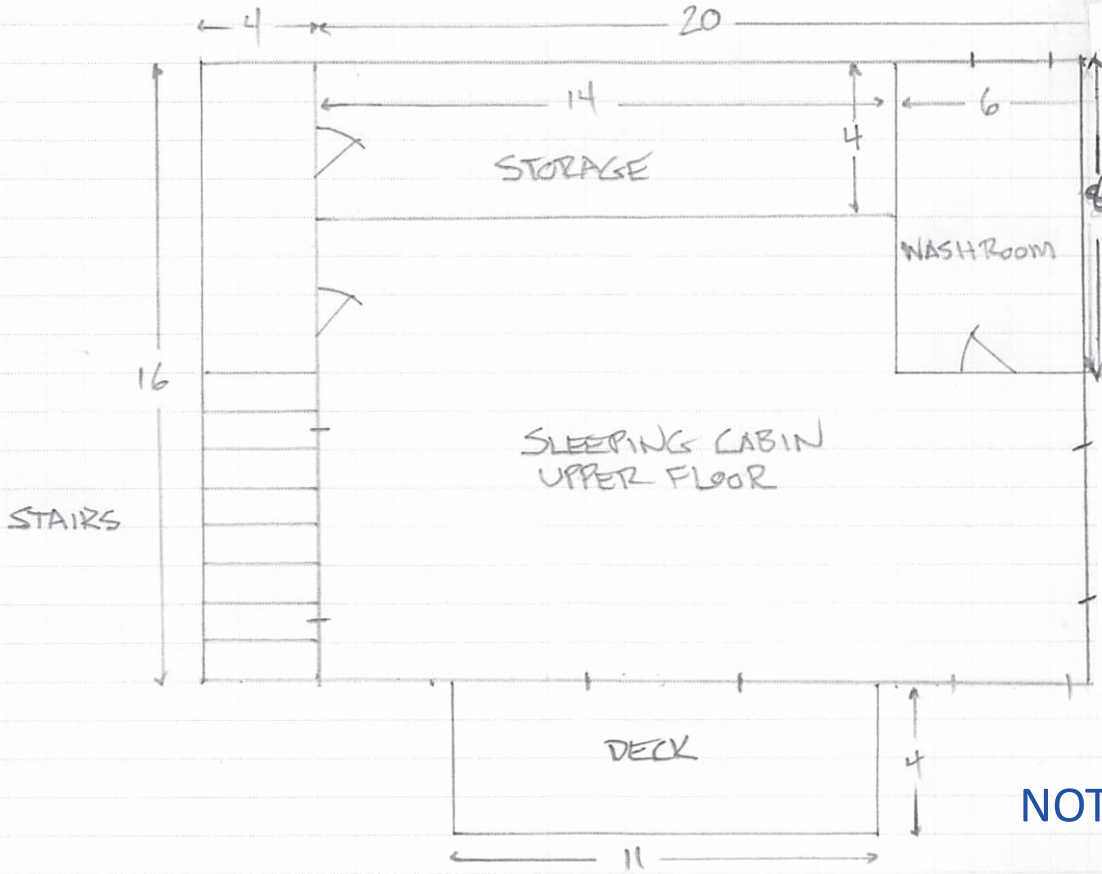
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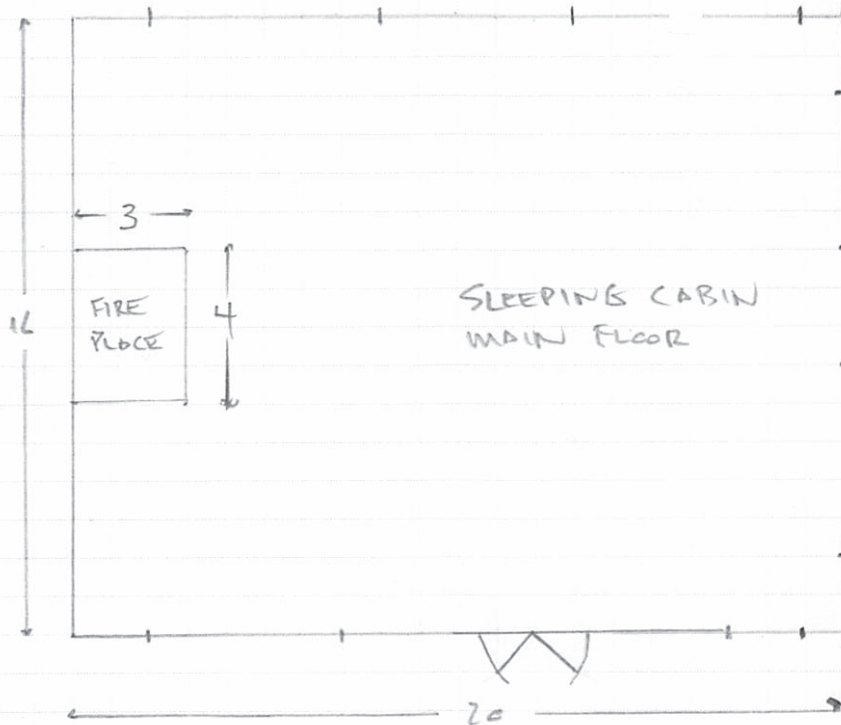
LAKE JOSEPH Crown

			T: 705-789-7851 huntville@tulloch.ca 80 MAIN ST W HUNTSVILLE, ONTARIO P1H 1W9	Site Plan	PROJECT: Langley - 1197 Hamills Point Road, Muskoka Lakes	DRAWN BY: MDJ	CHECKED BY: SS	PROJECT No.: 24-1019
						SCALE: AS NOTED	DATE: Oct 25, 2024	
No.	DATE	BY	ISSUES / REVISIONS					

FLOOR PLANS - SLEEPING CABIN



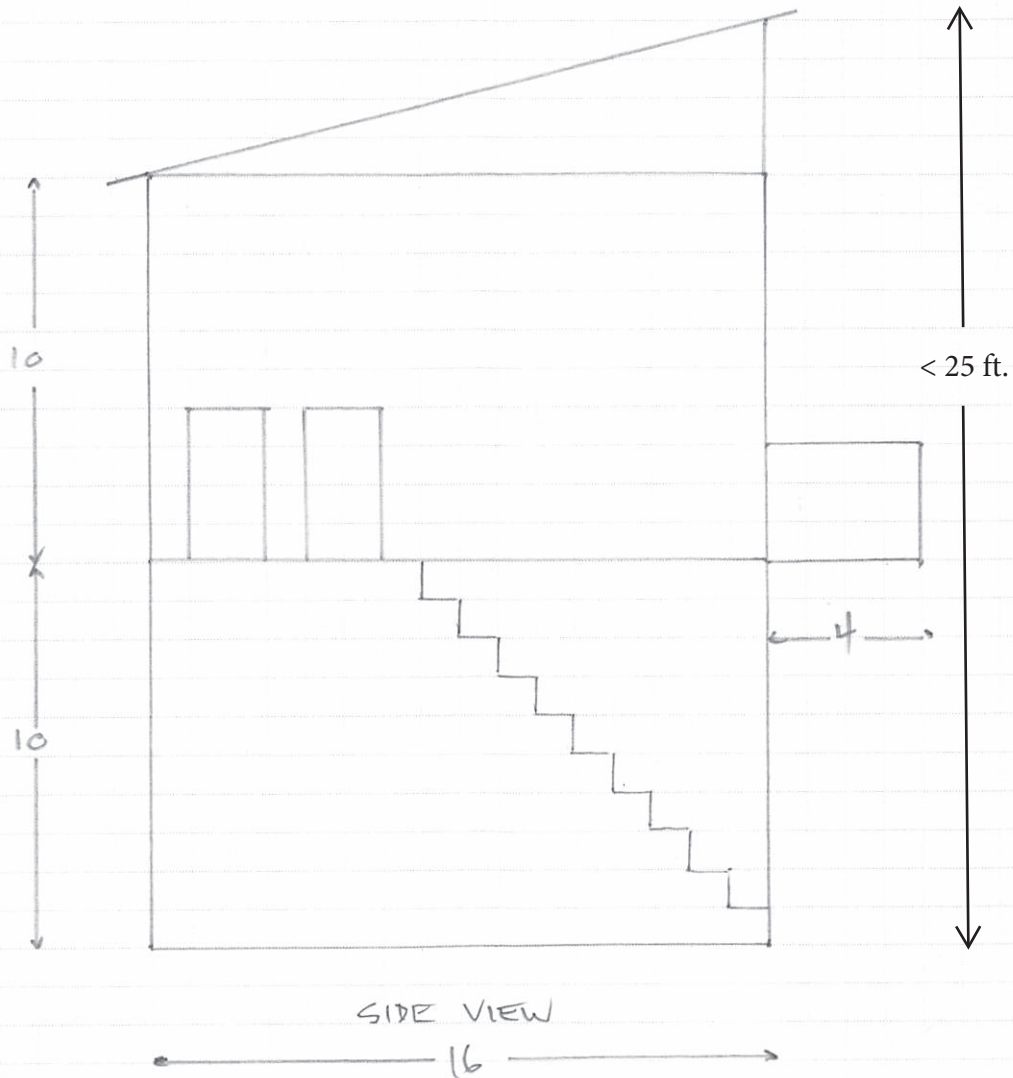
NOT TO SCALE



FOR INFORMATIONAL PURPOSES ONLY

ELEVATIONS - SLEEPING CABIN

NOT TO SCALE



FOR INFORMATIONAL PURPOSES ONLY