



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-76/24

Roll No.: 4-8-012

Owner:	Diani Recreational Corporation, 11 The Bridle Path, North York, ON, M2L 1C9		
Address & Description:	8216 Lake Joseph Road, Unit #10 East Part of Lot 3, West Part of Lot 4, Concession 13, Parts 1 to 3, Plan BR-1007, Part 1, Plan BR-346, (Medora)		
Zoning:	Waterfront Residential (WR4)	Lake Joseph (Category 1 Lake)	Schedule: 19
Hearing Date: Monday, November 11th, 2024 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

The applicant proposes to construct a two-storey boathouse and attached dock. Please note that Township Council approved By-law 2021-036 in June 2021 permitting a maximum dock length of 90 feet, a maximum length of a single storey portion of a two-storey boathouse to be 86 feet, and a second storey portion of a two-storey boathouse to be a maximum of 76 feet in length, all in the location and extent as shown on Schedule II to the by-law. The following is a summary of the requested variances:

Variance	ZBL 2014-14, as Amended Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.7 & 4.1.7.12 c.	Maximum Permitted First Storey Boathouse Width	49.9 ft. (16%)	53 ft. (17%)	3.1 ft.	Construct a Two-Storey Boathouse Where the First Storey Exceeds The Maximum Permitted First Storey Cumulative Boathouse Width



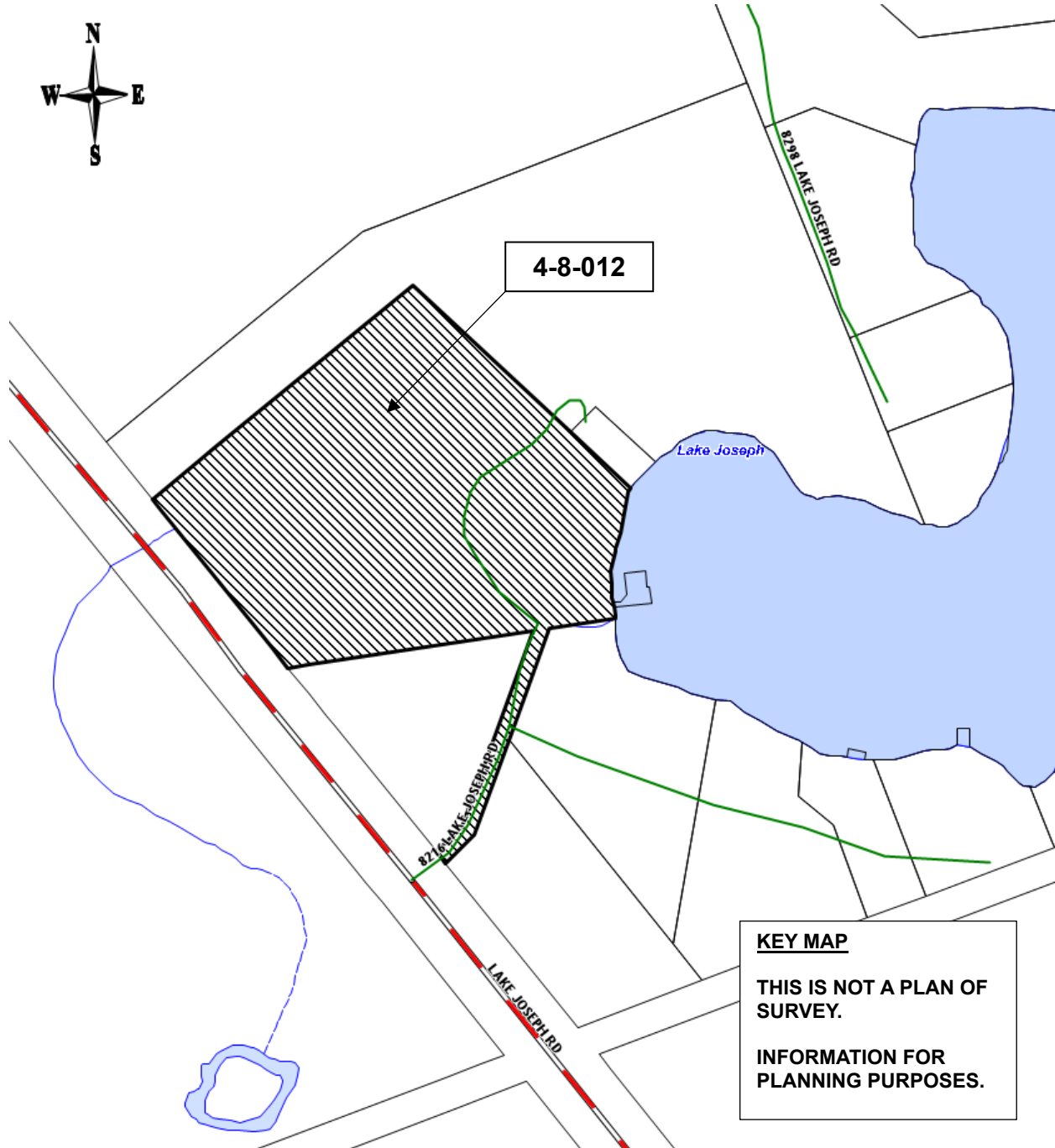
Notice of Hearing
A-76/24, Diani Recreational Corporation

Variance	ZBL 2014-14, as Amended Section(s)	Description	Permitted	Proposed	Variance	Proposal
B	4.1.7 & 4.1.7.8	Minimum Required Setback from the Easterly Side Lot Line Projection into the High Water Mark	45 ft.	39 ft.	6 ft.	Construct a Two-Storey Boathouse Where a Portion of the First Storey (with a Rooftop Sundeck) is Located within the Required Side Yard Setback
C	By-law 2021-036, Subsection ii)	Maximum Permitted Length for a Single Storey Portion of a Two Storey Boathouse	86 ft. as Shown in the Location and Extent on Schedule II	86 ft. in a Different Location and Extent Than Shown on Schedule II	-	Permit the Development of a First Storey Portion of a Two Storey Boathouse in a Different Location and Extent than Shown on Schedule II to By-law 2021-036

A key map of the subject property and the applicant's site plan and any drawings are included in this notice.



KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 31st day of October, 2024.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



SITE PLAN

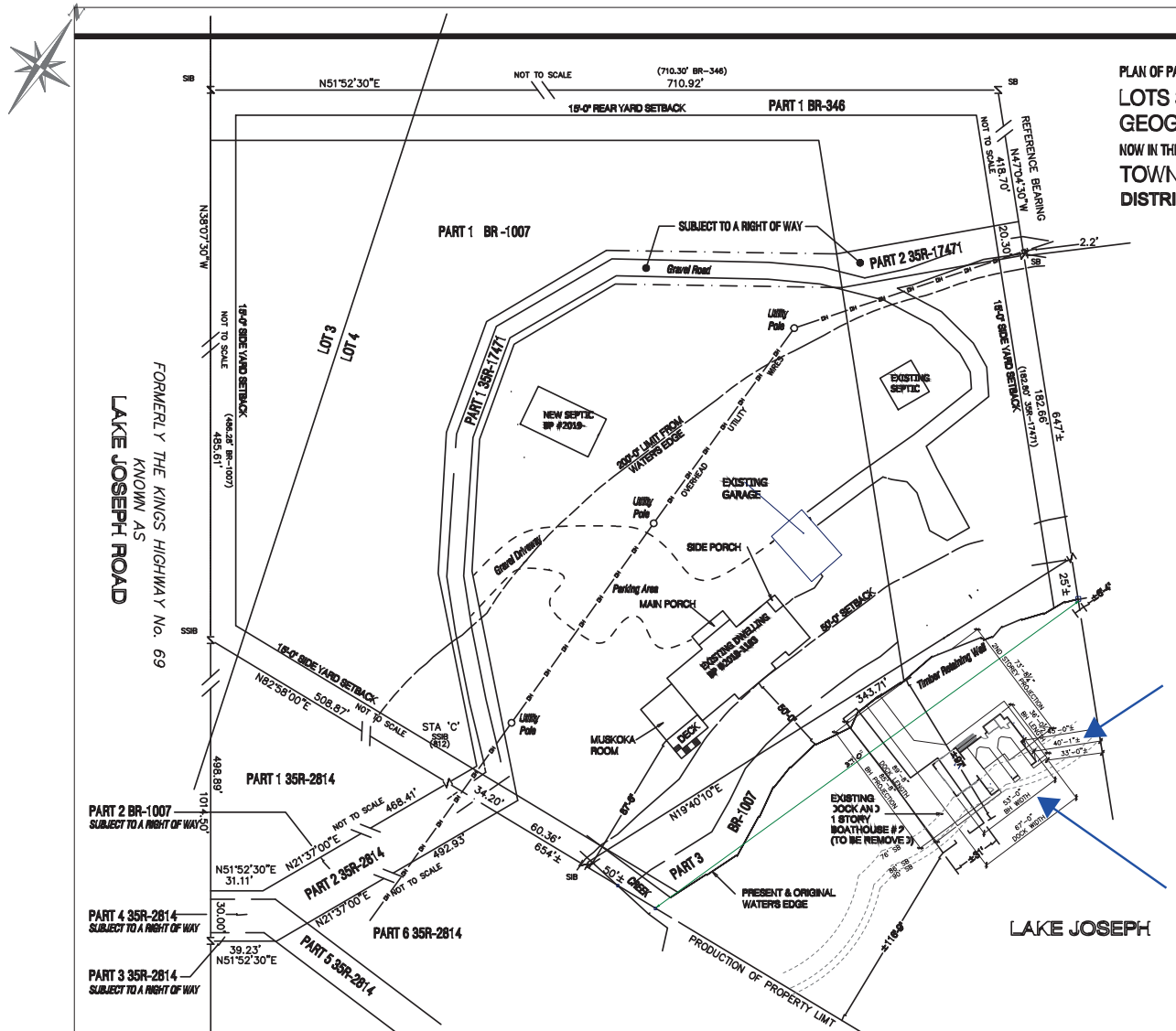
NOT TO SCALE

ZONING DETAILS	
ZONING	WR4
LOT AREA	529,600± FT ²
AREA WITHIN 200' OF HW MARK	84,940± FT ²
MAX. LOT COVERAGE	10%
MIN. FRONT YARD SETBACK	60'
MIN. INT. SIDE YARD SETBACK	15'
MIN. EXT. SIDE YARD SETBACK	30'
MIN. REAR YARD SETBACK	15'
MAX. HEIGHT	35'
MAX. HEIGHT ACCESSORY	25'

ZONING DETAILS STRUCTURES OVER WATER	
LAKE CLASS	CATEGORY 1
STRAIGHT LINE FRONTAGE	312'-0"
DOCKS	ZBA APPROVED
MAX. LENGTH	66'
MAX. CUMULATIVE WIDTH	90'
MAX. CUMULATIVE WIDTH	75'
MIN. SIDE YARD SETBACK	30'
BOATHOUSE	
MAX. LENGTH	50'
MAX. CUMULATIVE WIDTH	76'/86'
HABITABLE FLOOR AREA	YES
MAX. SIZE 2ND STOREY	850M ²
LOCATION OF 2ND STOREY	MAX 35' FROM HIGH WATER MARK
MAX. HEIGHT	25'
MIN. SIDE YARD SETBACK (1 STOREY)	30'
MIN. SIDE YARD SETBACK (1 STOREY W/ SUNDECK)	45'

PROPOSED LOT FRONTAGE STATISTICS		
DEFINITION	CUMULATIVE WIDTH	% COVERAGE
STRAIGHT LINE FRONTAGE	312'-0"	-
DOCK	67'-0"	21.2%
DOCK TOTAL	67'-0"	21.2%
PROPOSED BOATHOUSE	53'-0"	17%

PROPOSED LOT AREA STATS		
DEFINITION	AREA (FT ²)	% COVERAGE
TOTAL LOT AREA	529,600±	-
AREA WITHIN 200' OF HW MARK	84,940±	-
EXISTING STRUCTURES		
COTTAGE W/ COVERED PORCH	3,047	0.6%
MUSKOKA ROOM	576	0.1%
GARAGE	864	0.2%
PROPOSED STRUCTURES		
BOATHOUSE	1,379	0.3%
PROPOSED TOTAL WITH HW MARK	5,866	6.9%
PROPOSED TOTAL	5,866	1.1%



PLAN OF PART
LOTS 3
GEOGR
NOW IN THE
TOWNS
DISTRICT

FORMERLY THE KINGS HIGHWAY No. 69
KNOWN AS
LAKE JOSEPH ROAD



705.640.3800
INFO@DEKONINGGROUP.COM
3 ARMSTRONG POINT ROAD
PORT CARLING, ONTARIO
POB 130

PROFESSIONAL ENGINEER
BCIN REGISTRATION INFORMATION 12-4-2020
DEKONING GROUP INC. FIRM BCIN
FIRM NAME FIRM BCIN
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 217.41 OF THE BUILDING CODE

NO.	DESCRIPTION	DATE
3	ISSUED FOR MINOR VARIANCE	OCT 29, 2024
2	ISSUED FOR MINOR VARIANCE	OCT 24, 2024
1	ISSUED FOR MINOR VARIANCE	SEP 26, 2024
001	Revision/Issue Column	Date

CLIENT
MUSKOKA SHORES CONTRACTING

PROJECT
**WRIGHT BAY BOATHOUSE
10-8216 LAKE JOSEPH ROAD
TOWNSHIP OF MUSKOKA LAKES**

DRAWING
SITE PLAN

PROJECT 24-258-03

DATE	SEPTEMBER 2024
DESIGNED	HG
REVIEWED	NMK
SCALE	AS SHOWN
SHEET	SP1

SITE PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. ALL STANDARDS, MANUALS AND CODES REFERENCED IN THIS SET OF DRAWINGS REFER TO THE MOST RECENTLY IMPLEMENTED VERSION/EDITION.
2. ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE (OBC).
3. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT OF ONTARIO.
4. THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS, CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
5. THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY BRACING AS REQUIRED TO SUPPORT REMAINING OR ADJACENT STRUCTURES DURING CONSTRUCTION.
6. ALL DESIGN LOADS NOTED ON DRAWINGS ARE WORKING LOADS.
7. DESIGN LOADS USED FOR FOUNDATION LOADS SHALL BE AS FOLLOWS (ALL LOADS ARE UNFACTORED):
DECK/ROOF:
 GROUND SNOW LOAD (S_n) - 3.1 kPa (65 psf)
 RAIN LOAD (S_r) - 0.4 kPa (8 psf)
 DEAD LOAD - 1.0 kPa (21 psf)
FLOOR LOADS:
 LIVE LOAD - 1.9 kPa (40 psf)
 DEAD LOAD - 1.0 kPa (21 psf)
DECK LOADS (UNCOVERED):
 GROUND SNOW LOAD (S_n) - 3.1 kPa (65 psf)
 RAIN LOAD (S_r) - 0.4 kPa (8 psf)
 DEAD LOAD - 1.0 kPa (21 psf)
DOCK:
 GROUND SNOW LOAD (S_n) - 3.1 kPa (65 psf)
 RAIN LOAD (S_r) - 0.4 kPa (8 psf)
 DEAD LOAD - 1.0 kPa (21 psf)
DOCK LOADS (COVERED):
 LIVE LOAD - 1.9 kPa (40 psf)
 DEAD LOAD - 1.0 kPa (21 psf)
 PIPES/HOOP PIPE LOADS NOT TO EXCEED 100 kN/PIECE
8. UNSUPPORTED LENGTH OF STEEL PILLS BETWEEN BRACING SHALL NOT EXCEED 4.6 m (15').
9. PILING SUPPORT STRUCTURE NOT DESIGNED TO RESIST ICE FORCES.
10. ALL PILLS SHALL BE BRACED WITHIN 2.4 m (8') OF PILE TOP, UNLESS PINNED TO BEDROCK OR ADEQUATELY SUPPORTED BY OVRBRIDEN.
11. STRUCTURE NOT DESIGNED TO RESIST WAVE FORCES RESULTING FROM BOATS MOORED OUTSIDE OF SUP AREAS OR FROM ANY WAVE DISPERSION ALTERING TO STRUCTURE SHOWN.
12. STEEL PILLS TO BE PLACED DIRECTLY BELOW ALL POINT LOADS FROM STRUCTURE ABOVE UNLESS INDICATED OTHERWISE.
13. DESIGN OF PILING SYSTEM HAS ASSUMED END BEARING ON BEDROCK.
14. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A GEOTECHNICAL ENGINEER TO CONFIRM BEDROCK PROFILE AND/OR OVERBURDEN DEPTHS AND GRADATION TO ENSURE END BEARING CAPACITIES ASSUMED IN THE DESIGN ARE ACHIEVED. THE RESULTS OF THE INVESTIGATION SHALL BE CONFIRMED BY THE ENGINEER.

16. LOCATION OF ALL BRACING SHALL BE DETERMINED FROM THE RESULTS OF THE GEOTECHNICAL INVESTIGATION.
 17. THE OWNER SHALL UNDERTAKE A DETAILED UNDERWATER INVESTIGATION WHEN THE STEEL DOCK IS TEN YEARS OLD TO DETERMINE LOSS OF SECTION AND MAKE NECESSARY REPAIRS.
 18. DOCK FOUNDATIONS ARE SUBJECT TO DIFFERENTIAL SETTLEMENT AND DECAY OF WOOD COMPONENTS. OWNER TO SHIM AND REPAIR AS REQUIRED TO MAINTAIN STRENGTH AND SERVICEABILITY PERFORMANCE.
- PILE TOLERANCES**
1. CUT-OFF ELEVATION ± 3 mm (1/8")
 2. DEVIATION FROM VERTICAL, NOT MORE THAN 1/200, BUT IN NO CASE SHALL PILE DEVIATION CREATE CANTILEVERED CONDITIONS FOR LOADS ABOVE.
 3. THE CENTRE OF THE PILE SHALL BE WITHIN 0.3 mm (1/32") MEASURED HORIZONTALLY OF THAT SPECIFIED, BUT IN NO CASE SHALL PILE DEVIATION CREATE CANTILEVERED CONDITIONS FOR LOADS ABOVE.
- STRUCTURAL STEEL**
1. ALL NEW STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING GRADES AND STANDARDS:
 A. CSA G40.21 TYPE 350W FOR W SHAPES
 B. CSA G40.21 TYPE 350W CLASS C FOR IBS SECTIONS
 C. CSA G40.21 TYPE 350W UNLESS NOTED OTHERWISE.
 2. FABRICATION, ERECTION AND WORKMANSHIP SHALL CONFORM TO CSA S16.
 3. ALL WELDING SHALL CONFORM TO CSA S16 AND W59, AND SHALL BE PERFORMED BY A FABRICATOR FULLY APPROVED UNDER CSA W47.1.
 4. ALL STEEL SHALL BE WELDED USING A MINIMUM OF 6 mm (1/4") CONTINUOUS FILLET OR GROOVE WELDS UNLESS NOTED OTHERWISE.
 5. ALL BOLTS, NUTS AND WASHERS FOR STRUCTURAL STEEL CONNECTIONS SHALL CONFORM TO ASTM A325.
 6. ALL ANCHOR BOLTS, NUTS AND WASHERS SHALL CONFORM TO ASTM A36 OR ASTM A307.
 7. ALL STEEL SHALL BE SHOP PRIMED.
 8. NO HOLES SHALL BE CUT IN STRUCTURAL STEEL WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
 9. SPLICES IN STEEL MEMBERS OTHER THAN THOSE SHOWN ON THE DRAWINGS SHALL NOT BE PERMITTED.
 10. STRUCTURAL STEEL NOTED COMPLEES WITH THE DESIGN, INTENT, SIZE AND ARRANGEMENT OF THE MEMBERS ONLY. ALL TRADES SHALL COMPLETE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. DIMENSIONS SHOWN ON THE SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 11. CONNECTION DETAILS SHALL BE DESIGNED FOR THE FULL CAPACITY OF THE CONNECTED MEMBER.
- WOOD FRAMING**
1. ALL LUMBER SHALL BE SPF No.1/No.2 GRADE IN ACCORDANCE WITH CSA O86 UNLESS NOTED OTHERWISE.
 2. TIMBER SPECIES GROUP D/IR-L No.2 OR BETTER UNLESS NOTED OTHERWISE.
 3. LUMBER SHALL BE GRADED TO NLGA STANDARD GRADING RULES FOR CANADIAN LUMBER IN ACCORDANCE WITH CSA O141.
 4. ALL LUMBER NOTED AS PRESERVATIVE TREATED SHALL BE PRESERVATIVE TREATED WITH ALKALINE COPPER QUATERNARY (ACQ) AND COPPER AZOLE (CA), IN ACCORDANCE WITH CSA O80.
 5. ALL FASTENERS IN CONTACT WITH PRESERVATIVE TREATED LUMBER SHALL BE DESIGNED FOR THIS APPLICATION.

6. ALL WALLS, SPIKES, STAPLES AND SCREWS SHALL BE IN ACCORDANCE WITH OBC CLAUSE 9.23.3.
 7. ALL BOLTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM A307 OR SAE J429 GRADE 2.
 8. SIMPSON H2.5A OR EQUIVALENT HURRICANE TIES SHALL BE USED TO CONNECT ALL ROOFING MEMBERS TO TOP OF WALL FRAMING AS A MINIMUM UPLIFT RESTRAINT UNLESS NOTED OTHERWISE.
 9. SIMPSON L90 OR EQUIVALENT FRAMING ANGLES SHALL BE USED TO FASTEN RAFTERS TO HIP & VALLEY BEAMS UNLESS NOTED OTHERWISE. (MAXIMUM RAFTER LENGTH 8'-0" @ 24" O/C OR 12'-0" @ 16" O/C)
- LAMINATED VENEER LUMBER**
1. ALL LVL MATERIAL SHALL BE SPECIES GRADE 2.0E UNLESS NOTED OTHERWISE.
 2. ALL NAILS/BOLTS TO BE 50 mm (2") FROM EDGES AND 64 mm (2 1/2") FROM ENDS. INTERMEDIATE ROWS OF NAILS/BOLTS TO BE SPACED EQUALLY BETWEEN OUTER ROWS.
 3. BOLTED CONNECTIONS REQUIRE 50 mm (2") OUTSIDE DIAMETER FLAT WASHER UNDER HEAD AND NUT.
- NAILING AND BOLTING PATTERNS**
- A. SIDE/TOP LOADS ≥ 2.3 KILOPAISAS
1. 1.1 184 mm-332 mm (7 1/8"-13 1/8") DEPTH: 2 ROWS OF 16d NAILS @ 152 mm (6") O/C
 - 1.2 354 mm-457 mm (13 7/8"-18") DEPTH: 3 ROWS OF 16d NAILS @ 152 mm (6") O/C
 - 1.3 476 mm-606 mm (18 3/4"-23 7/8") DEPTH: 4 ROWS OF 16d NAILS @ 152 mm (6") O/C
- B. ALL LVL UNITS SHALL BE SUPPORTED WITH 2 SPF JACK STUDS PER END UNLESS NOTED OTHERWISE.
- GUARDS**
1. EXCEPT AS PROVIDED IN SENTENCES 2. TO 4., ALL GUARDS SHALL BE NOT LESS THAN 1073 mm (3'-6") HIGH.
 2. ALL GUARDS WITHIN DWELLING UNITS SHALL BE NOT LESS THAN 900 mm (3'-0") HIGH.
 3. EXTERIOR GUARDS SERVING NOT MORE THAN ONE DWELLING UNIT SHALL BE NOT LESS THAN 900 mm (3'-0") HIGH WHERE THE WALKING SURFACE SERVED BY THE GUARD IS NOT MORE THAN 1800 mm (5'-11") ABOVE THE FINISHED GROUND LEVEL.
 4. GUARDS IN FLIGHTS OF STEPS, EXCEPT IN REQUIRED EXIT STAIRS, SHALL BE NOT LESS THAN 900 mm (3'-0") HIGH.
 5. THE HEIGHT OF GUARDS FOR FLIGHTS OF STEPS SHALL BE MEASURED VERTICALLY FROM A LINE DRAWN THROUGH THE LEADING EDGE OF THE TREADS SERVED BY THE GUARD.
 6. ALL GUARD DESIGN LOADS TO CONFORM TO TABLE 9.8.8.2 OF THE OBC.
- STAIRS**
1. ALL STAIRS TO CONFORM TO TABLE 9.8.4.1. OF THE OBC.
 PRIVATE: MAX RISE = 76" MAX RUN = 14"
 MIN RISE = 4" MIN RUN = 10"
 2. SMOKE & CARBON MONOXIDE ALARMS
1. SMOKE ALARMS TO BE LOCATED & INSTALLED AS PER 9.10.1.9. OF THE OBC.
 2. CARBON MONOXIDE ALARMS TO BE LOCATED & INSTALLED AS PER 9.33.4.2. OF THE OBC.

- ROOF VENTING**
1. PROVIDE ROOF VENTING AS PER 9.19.1.2. OF THE OBC.
 2. THE UNSTRUCTURED VENT AREA SHALL BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.
 3. WHERE THE ROOF SLOPE IS LESS THAN 1 IN 6 OR IN ROOFS THAT A CONSTRUCTED WITH ROOF JOISTS, THE UNSTRUCTURED VENT AREA SHALL BE NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.
- VENTING SHALL BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING WITH MIN 25% AT TOP & BOTTOM.
- ATTACHED OR BUILT-IN GARAGE & DWELLING BARRIER**
1. PROVIDE EFFECTIVE BARRIER AGAINST THE PASSAGE OF GASES AND EXHAUST FUMES AS PER 9.10.13.1.5
 A. DOOR BETWEEN GARAGE AND DWELLING SHALL BE TIGHT-FITTING, WEATHER-STRIPPED, GAS-PROOF AND FITTED WITH A SELF-CLOSING DEVICE.
 2. PARTITION BETWEEN DWELLING & GARAGE SHALL CONFORM TO OBC 9.10.9.16, 9.25.3.2, & 9.25.3.3 & SHALL BE ISOLATED TO THE SAME VALUE AS THE EXTERIOR WALL.
- FLASHING**
1. PROVIDE FLASHING AS PER 9.26.4. AND 9.27.3.5. OF THE OBC.
 2. FLASHING TO BE INSTALLED:
 A. ABOVE ALL OPENING WHERE THE VERTICAL DISTANCE FROM THE BOTTOM OF THE EAVE TO THE TOP OF THE TRIM IS MORE THAN ONE-QUARTER OF THE HORIZONTAL OVERHANG OF THE EAVE.
 B. ABOVE EXPOSED LEDGER BOARDS.
 C. WHERE CLADDING TERMINATES OR WHERE CLADDING CHANGES.
 D. JUNCTION BETWEEN WALLS AND ROOF.
 E. AT WINDOW SILLS WHERE WINDOWS ARE NOT SELF-FLASHING
 3. FLASHING TO EXTEND MIN. 6" AND LAP HOUSE WRAP ON TOP AND TAPE/SEAL ALL SEAMS AND SHALL SLOPE AWAY FROM THE INTERIOR.
- EAVE PROTECTION**
1. PROVIDE EAVE PROTECTION AS PER 9.26.5.1.1. OF THE OBC.
 2. EAVE PROTECTION SHALL EXTEND UP THE ROOF SLOPE FROM THE EDGE OF THE ROOF A MIN. 36" TO A LINE NOT LESS THAN 12" INSIDE THE INNER FACE OF THE EXTERIOR WALL.
- NOTES TO CONTRACTOR**
1. CONTRACTOR TO CHECK ALL RELEVANT DIMENSIONS SHOWN ON THE DRAWINGS AND ADJUST DIMENSIONS AS REQUIRED TO MATCH THE STRUCTURE, AS APPROVED BY THE ENGINEER.
 2. FOLLOW ALL MANUFACTURER'S INSTRUCTIONS AND SPECIFICATION FOR MATERIALS USED TO CARRY OUT THE WORK.
 3. ALL ROOFING WORK BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH CURRENT STANDARD PRACTICES, AND IN ACCORDANCE WITH THE C.R.C.A. MANUAL AND ROOFING MEMBRANE MANUFACTURER'S SPECIFICATIONS.
 4. DO NOT SCALE DRAWINGS.
- REFERENCE DRAWINGS**
- DETAILS OF THE PROPOSED STRUCTURE HAVE BEEN DERIVED FROM DRAWINGS RECEIVED FROM CHRIS UMPHREY MSC ON NOVEMBER 02, 2023.



705.640.3800
 INFO@DEKONINGGROUP.COM
 3 ARMSTRONG POINT ROAD
 PORT CARLING, ONTARIO
 POB 1J0

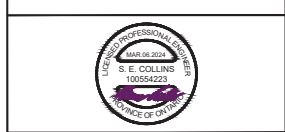
PROFESSIONAL ENGINEER
 BION REGISTRATION INFORMATION 1526300
 DE KONING GROUP INC. 1526300
 FIRM NAME FIRM BCEN
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE.

NO.	DESCRIPTION	DATE
8	ISSUED FOR CONSTRUCTION	MAR 08 2024
7	ISSUED FOR PERMIT	DEC 18 2023
6	ISSUED FOR PERMIT	DEC 08 2023
5	ISSUED FOR PERMIT	NOV 16 2023
4	ISSUED FOR RECORD	OCT 25 2023
3	ISSUED FOR PERMIT	JAN 18 2023
2	ISSUED FOR PERMIT	JAN 11 2023
1	ISSUED FOR PERMIT	DEC 01 2021
01	Revision/Issue/Column	Date

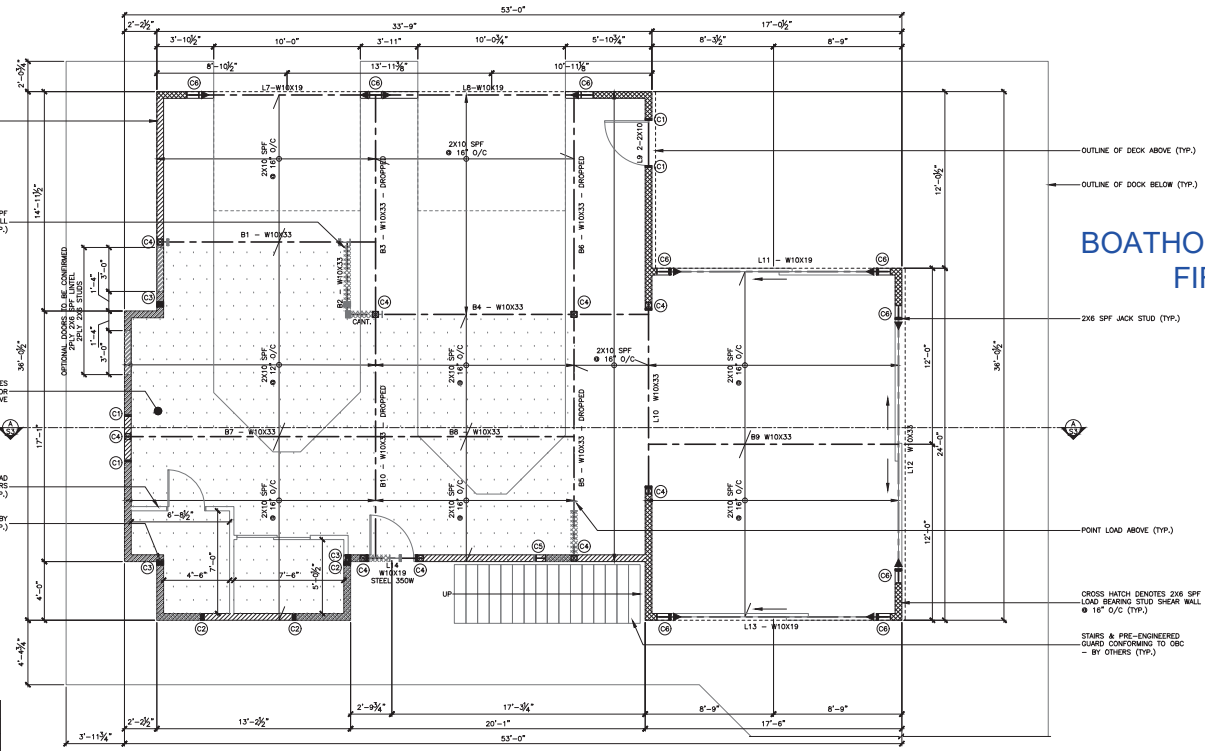
MUSKOKA SHORES CONTRACTING

PROJECT
 WRIGHT'S BAY BOATHOUSE
 10-8216 LAKE JOSEPH ROAD
 TOWNSHIP OF MUSKOKA LAKES

DRAWING
 MAIN FLOOR PLAN & SECOND FLOOR FRAMING PLAN



PROJECT 21-258-03
DATE NOVEMBER 2021
DESIGNED TK
REVIEWED HKBBS
SCALE AS SHOWN
SHEET



COLUMN SCHEDULE

#	SIZE	MATERIAL	GRADE
C1	1PLY - 2X6	SPF	No.1/No.2
C2	2PLY - 2X6	SPF	No.1/No.2
C3	3PLY - 2X6	SPF	No.1/No.2
C4	5"x6"x9" HSS	STEEL	350W
C5	WB18	STEEL	350W
C6	W10X19	STEEL	350W

NOT TO SCALE

MAIN FLOOR & SECOND FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

FOR INFORMATIONAL PURPOSES ONLY

BOATHOUSE FLOOR PLAN - SECOND STOREY

NOT TO SCALE



705.640.3800
 INFO@DEKONINGGROUP.COM
 3 ARMSTRONG POINT ROAD
 PORT CARLING, ONTARIO
 POB 1J0

PROFESSIONAL ENGINEER

BCIN REGISTRATION INFORMATION
 DE KONING GROUP INC. 1524300
 FIRM NAME FIRM BCIN

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.41 OF THE BUILDING CODE.

8	ISSUED FOR CONSTRUCTION	MAR 09 2024
7	ISSUED FOR PERMIT	DEC 18 2023
6	ISSUED FOR PERMIT	DEC 08 2023
5	ISSUED FOR PERMIT	NOV 16 2023
4	ISSUED FOR RECORD	OCT 25 2023
3	ISSUED FOR PERMIT	JAN 18 2023
2	ISSUED FOR PERMIT	JAN 11 2022
1	ISSUED FOR REVIEW	DEC 01 2021

CLIENT: **MUSKOKA SHORES CONTRACTING**

PROJECT: **WRIGHT'S BAY BOATHOUSE**
 10-8216 LAKE JOSEPH ROAD
 TOWNSHIP OF MUSKOKA LAKES

DRAWING: **SECOND FLOOR PLAN & ROOF FRAMING PLAN**



PROJECT: **21-258-03**

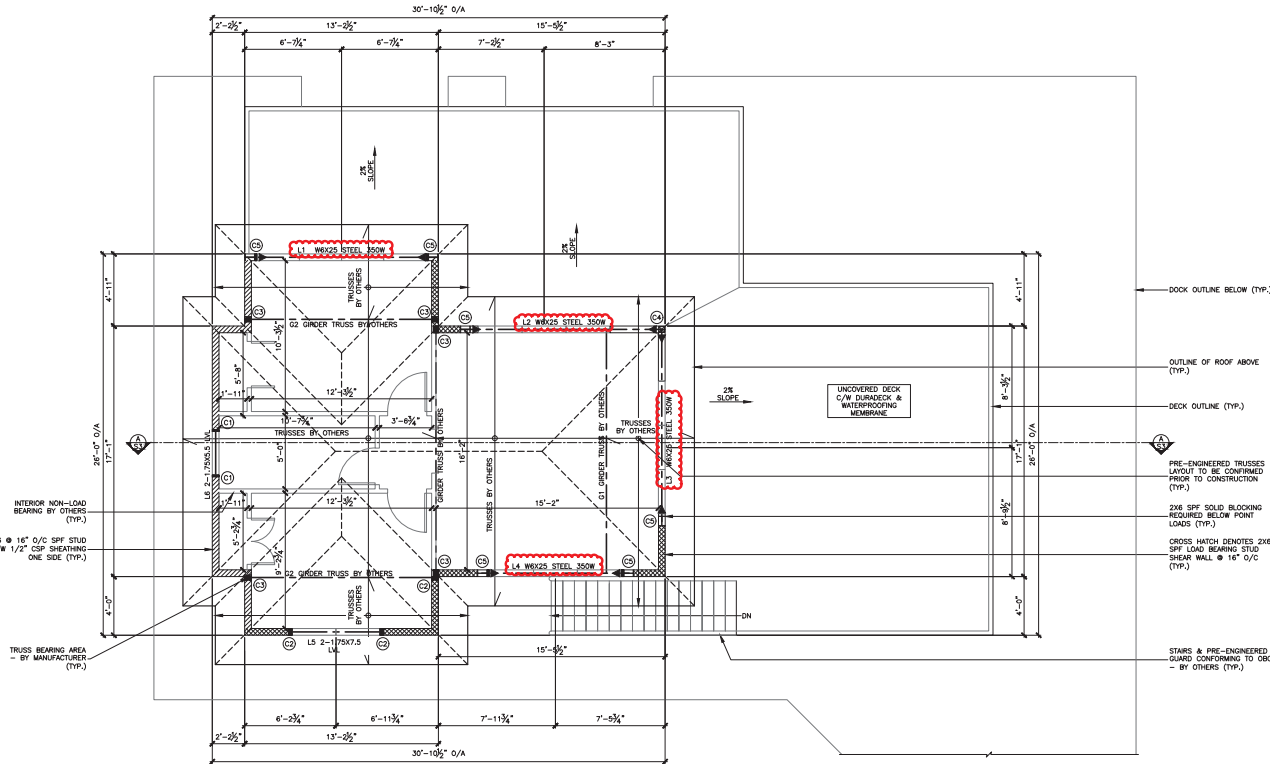
DATE: NOVEMBER 2021

DESIGNED: TK

REVIEWED: NAKBS

SCALE: AS SHOWN

SHEET



SECOND FLOOR & ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"

- SHEAR WALL FRAMING:**
- ++ 2x6 @ 16" O/C STUD WALL C/W
 - ++ 1PLY-2x6 SPF SLL PLATE
 - ++ 2x6LY-2x6 SPF TOP PLATE
 - ++ 2PLY-2x6 SPF END STUDS
 - ++ STRAPS/NAILS/DOWNS NOT REQUIRED UNLESS SPECIFIED ON THE DRAWINGS
 - ++ 3/8" CSP PLYWOOD SHEATHING (MIN. 1 SIDE)
 - ++ C/W STAGGERED JOINTS
 - ++ INSTAL 2x6 SPF HORIZONTAL BLOCKING @ 48" O/C & @ PLYWOOD PANEL EDGES
 - ++ FASTEN SHEATHING TO STUDS WITH COMMON WIRE NAILS AS FOLLOWS:
 - +++ 3" @ 4" O/C ALONG PANEL EDGES
 - +++ 3" @ 6" O/C INTERMEDIATE

◀ DENOTES LOCATION OF REQUIRED MOMENT CONNECTION

#	SIZE	MATERIAL	GRADE
C1	1PLY - 2x6	SPF	No.1/No.2
C2	2PLY - 2x6	SPF	No.1/No.2
C3	3PLY - 2x6	SPF	No.1/No.2
C4	5"x8"x16"	STEEL	350W
C5	WBX18	STEEL	350W
C6	WT10X19	STEEL	350W

FOR INFORMATIONAL PURPOSES ONLY

BOATHOUSE ELEVATIONS

NOT TO SCALE



705.640.3800
 INFO@DEKONINGGROUP.COM
 3 ARMSTRONG POINT ROAD
 PORT CARLING, ONTARIO
 POB 1J0

PROFESSIONAL ENGINEER

BICON REGISTRATION INFORMATION
 DE KONING GROUP INC. 124300
 FIRM NAME FIRM BCIN
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.41 OF THE BUILDING CODE.

NO.	DESCRIPTION	DATE
8	ISSUED FOR CONSTRUCTION	MAR 08 2024
7	ISSUED FOR PERMIT	DEC 18 2023
6	ISSUED FOR PERMIT	DEC 08 2023
5	ISSUED FOR PERMIT	NOV 16 2023
4	ISSUED FOR RECORD	OCT 25 2023
3	ISSUED FOR PERMIT	JAN 18 2023
2	ISSUED FOR PERMIT	JAN 11 2022
1	ISSUED FOR REVIEW	DEC 01 2021

CLIENT: Muskoka Shores Contracting

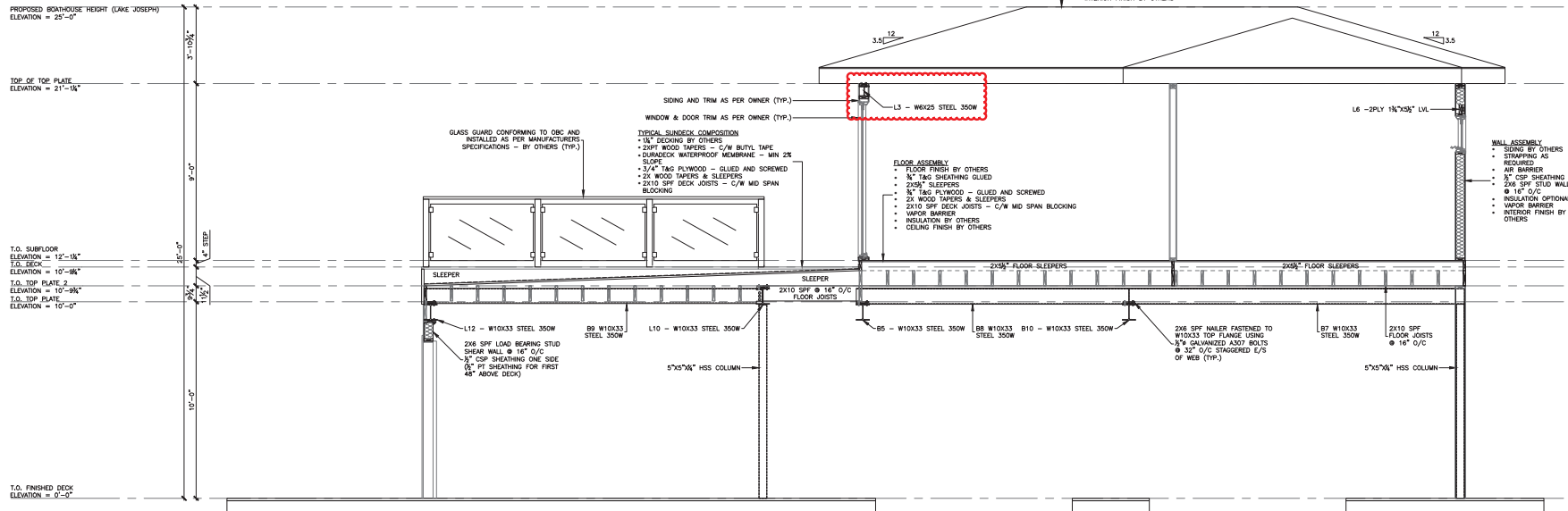
MUSKOKA SHORES CONTRACTING

PROJECT: **WRIGHT'S BAY BOATHOUSE**
 10-8216 LAKE JOSEPH ROAD
 TOWNSHIP OF MUSKOKA LAKES

DRAWING: **SECTION A**



PROJECT: 21-258-03
 DATE: DECEMBER 2023
 DESIGNED: TK
 REVIEWED: NAKBB
 SCALE: AS SHOWN
 SHEET: **S3**



FOR INFORMATIONAL PURPOSES ONLY

BOATHOUSE ELEVATIONS

NOT TO SCALE

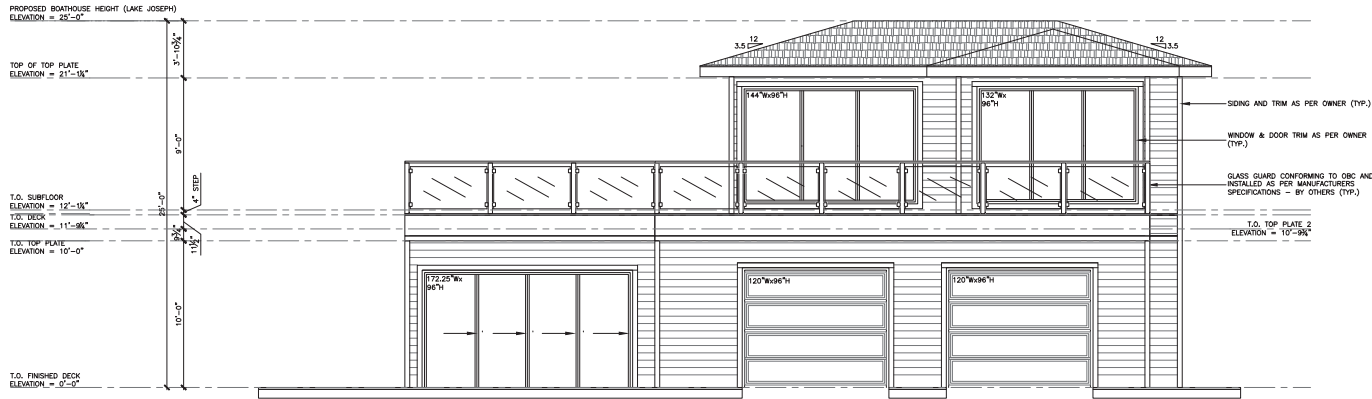


705.640.3800
 INFO@DEKONINGGROUP.COM
 3 ARMSTRONG POINT ROAD
 PORT CARLING, ONTARIO
 POB 1J0

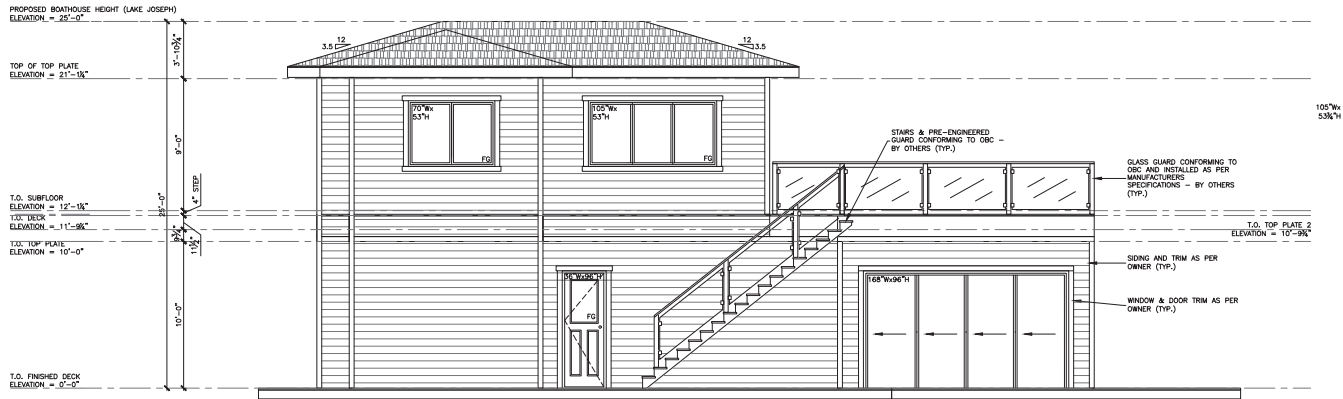
PROFESSIONAL ENGINEER

BCIN REGISTRATION INFORMATION
 DE KONING GROUP INC. 1264300
 FIRM NAME FIRM BCIN
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.41 OF THE BUILDING CODE.

NO.	DESCRIPTION	DATE
8	ISSUED FOR CONSTRUCTION	MAR 08 2024
7	ISSUED FOR PERMIT	DEC 18 2023
6	ISSUED FOR PERMIT	DEC 08 2023
5	ISSUED FOR PERMIT	NOV 16 2023
4	ISSUED FOR RECORD	OCT 25 2023
3	ISSUED FOR PERMIT	JAN 18 2023
2	ISSUED FOR PERMIT	JAN 11 2022
1	ISSUED FOR REVIEW	DEC 01 2021
001	PROPOSED SOUTH ELEVATION	DATE



PROPOSED NORTH ELEVATION
 SCALE: 3/4" = 1'-0"



PROPOSED SOUTH ELEVATION
 SCALE: 3/4" = 1'-0"

MUSKOKA SHORES CONTRACTING

PROJECT
 WRIGHT'S BAY BOATHOUSE
 10-8216 LAKE JOSEPH ROAD
 TOWNSHIP OF MUSKOKA LAKES

DRAWING
 PROPOSED NORTH & SOUTH ELEVATIONS



PROJECT 21-258-03

DATE DECEMBER 2023

DESIGNED TK

REVIEWED NAK/BB

SCALE AS SHOWN

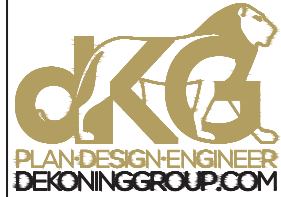
SHEET

A1.1

FOR INFORMATIONAL PURPOSES ONLY

BOATHOUSE ELEVATIONS

NOT TO SCALE



705.640.3800
 INFO@DEKONINGGROUP.COM
 3 ARMSTRONG POINT ROAD
 PORT CARLING, ONTARIO
 POB 1J0

PROFESSIONAL ENGINEER

BCIN REGISTRATION INFORMATION
 DE KONING GROUP INC. 126/300
 FIRM NAME FIRM BCIN
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.41 OF THE BUILDING CODE.

8	ISSUED FOR CONSTRUCTION	MAR 09 2024
7	ISSUED FOR PERMIT	DEC 18 2023
8	ISSUED FOR PERMIT	DEC 08 2023
5	ISSUED FOR PERMIT	NOV 16 2023
4	ISSUED FOR RECORD	OCT 25 2023
3	ISSUED FOR PERMIT	JAN 18 2023
2	ISSUED FOR PERMIT	JAN 11 2022
1	ISSUED FOR REVIEW	DEC 01 2021
001	PROPOSED BOATHOUSE	0000

CLIENT

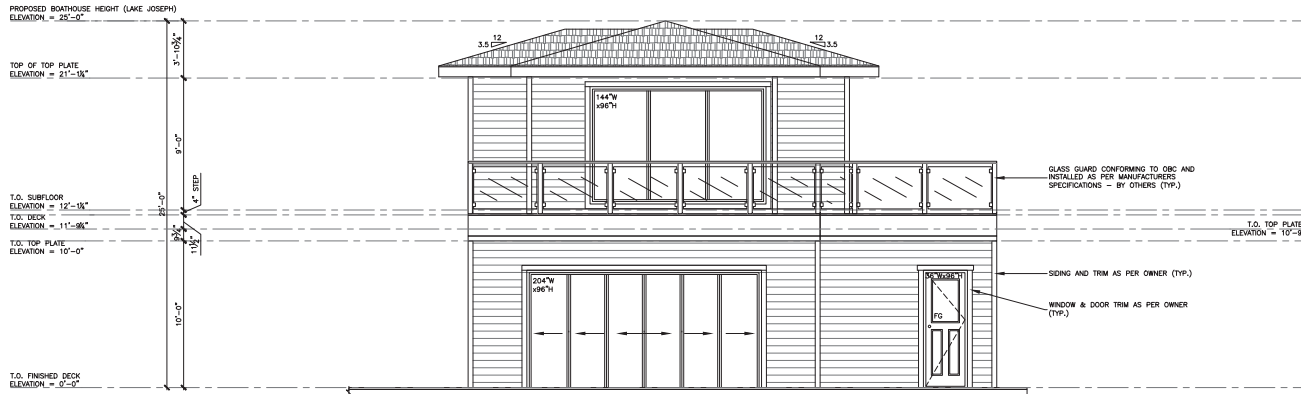
MUSKOKA SHORES
 CONTRACTING

PROJECT
 WRIGHT'S BAY BOATHOUSE
 10-8216 LAKE JOSEPH ROAD
 TOWNSHIP OF MUSKOKA LAKES

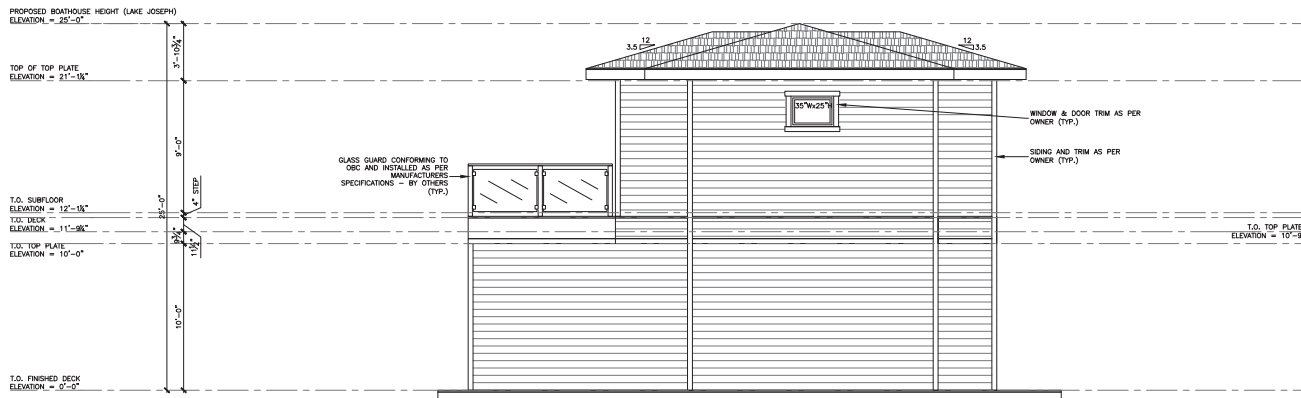
DRAWING
 PROPOSED
 EAST & WEST
 ELEVATIONS



PROJECT 21-258-03
 DATE DECEMBER 2023
 DESIGNED TK
 REVIEWED NAK/BB
 SCALE AS SHOWN
 SHEET



PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

FOR INFORMATIONAL PURPOSES ONLY

A1.2