



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-75/24

Roll No.: 5-7-027

Owner:	Lisa Weber, 1390 Halifax Place, Burlington, ON, L7S 1J6		
Address & Description:	6 Darling Drive Part Lot 222, Plan 4, (Medora)		
Zoning:	Community Residential - Waterfront (R4)	Silver Lake (Category 4 Lake)	Schedule: 55
Hearing Date: Tuesday, October, 15th, 2024 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

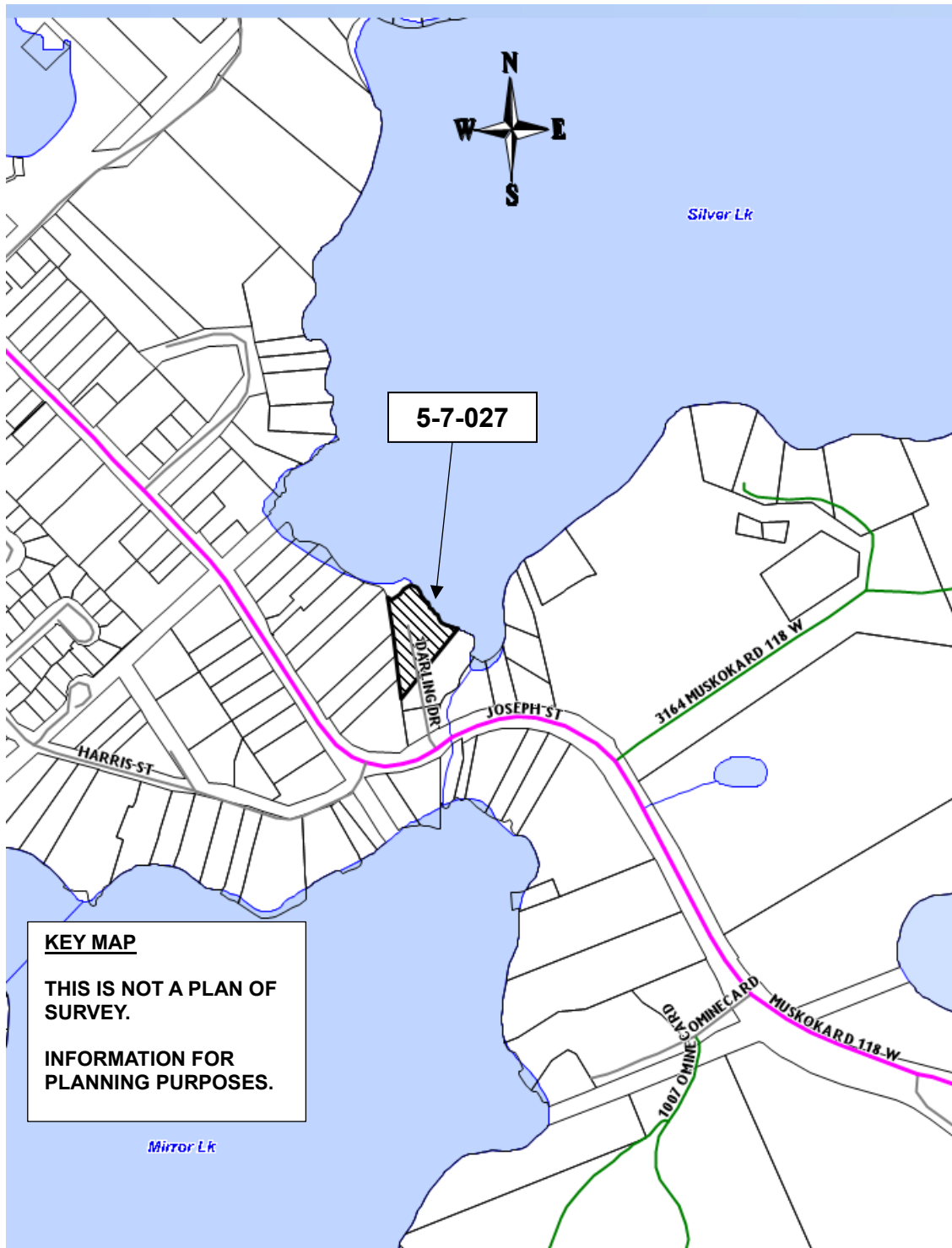
The applicant proposes to recognize an as-built sundeck. The following is a summary of the requested variance:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	5.1.6 iv.	Minimum Front Yard Setback (Sundeck)	50 ft.	34 ft.	16 ft.	Recognize an As-built Sundeck

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 1st day of October, 2024.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



IMPERIAL.
DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND CAN BE CONVERTED TO METERS BY MULTIPLYING BY 0.3048.

THIS REPORT WAS PREPARED FOR LISA & JEFFREY WEBER AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED JULY 10, 2023.



SITE PLAN

SURVEYOR'S REAL PROPERTY REPORT PART 1 PLAN OF SURVEY OF PART OF LOT 222, REGISTERED PLAN No. 4 VILLAGE OF PORT CARLING NOW IN THE TOWNSHIP OF MUSKOKA LAKES DISTRICT MUNICIPALITY OF MUSKOKA

PART 2

DESCRIPTION OF LAND
A Surveyor's Real Property Report has been completed of a part of Lot 222, Registered Plan No. 4, formerly in the Village of Port Carling, now in the Township of Muskoka Lakes. The subject lands are described in PIN 48150-0812.

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS
Our Land Registry Office search revealed a Right of Way affecting the title of the subject property as set out in DM95454.

There is a right of way appurtenant to the subject lands as set out in as set out in DM23620 & DM95454. The location of the revealed road within the right of ways has not been investigated beyond what is shown on this report.

A portion of the driveway appears to provide access to / from PIN 48150-0809, over which there is no registered right of way.

There are utility wires that cross the subject property that are not within the registered easement.

BOUNDARY FEATURES
Note that Shed 3, the hydro meter and the wood pile and pump house are 9.6', 0.4' and 23' & 12.5' northwest of the southeast property limit.

The straight line frontage and the relevant areas determining the coverage on the parcel of land have been calculated and are provided on this plan.

AREA SCHEDULE

Area of Parcel =	59,100 Sq.ft. (1.4 Acres)
Area of Parcel 200 feet from the water's edge =	53,700 Sq.ft. (1.2 Acres)
Area of Dwelling =	2,290 Sq.ft.
Area of Shed 1 =	200 Sq.ft.
Area of Shed 2 =	110 Sq.ft.
Area of Shed 3 =	75 Sq.ft.
Total Area of Buildings =	2,675 Sq.ft.
Straight Line Frontage =	302 ft.

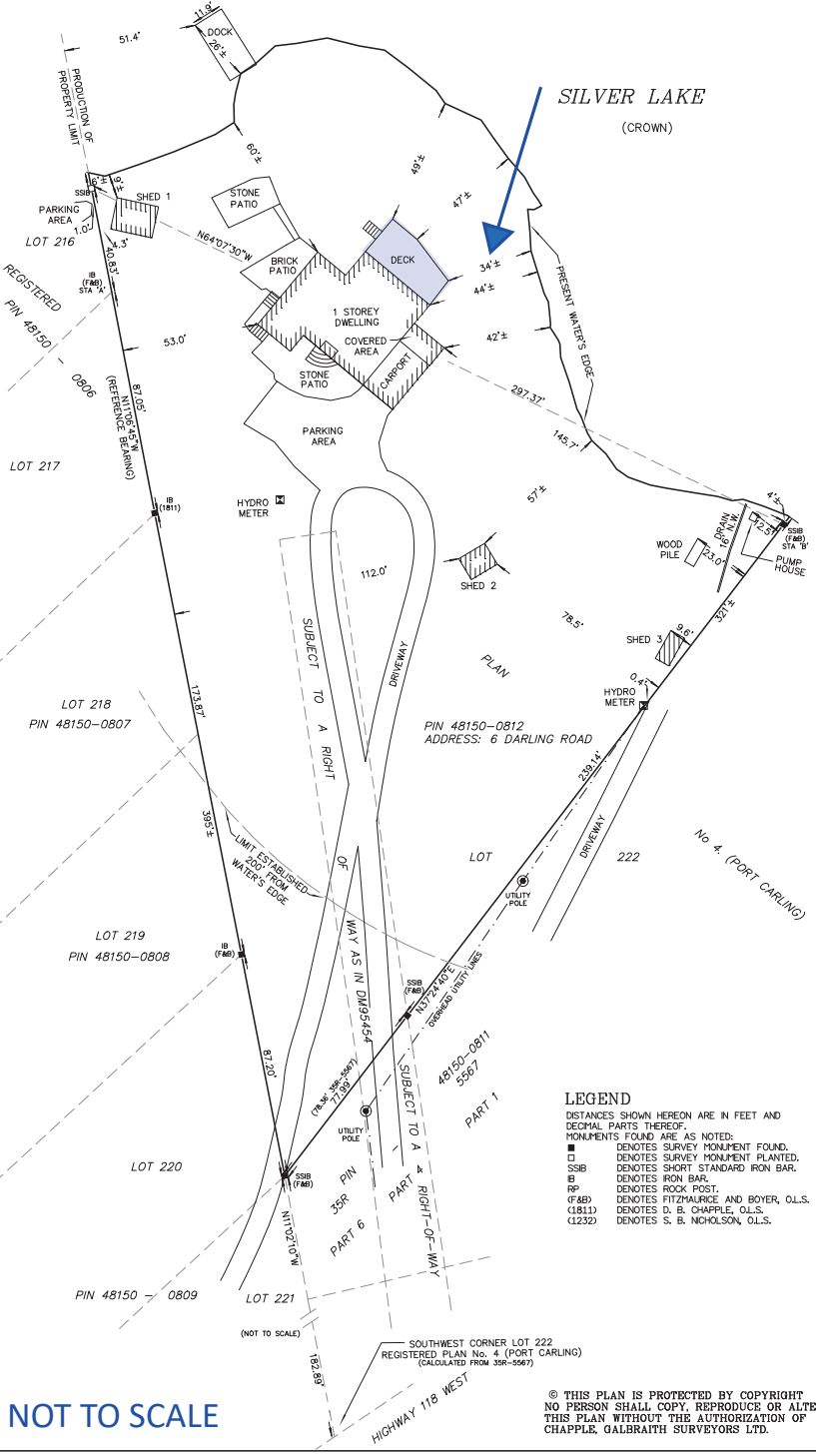
CHAPPLE, GALBRAITH SURVEYORS LTD.
ONTARIO LAND SURVEYORS
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SURVEYOR'S CERTIFICATE

I CERTIFY THAT
(1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
(2) THE SURVEY WAS COMPLETED ON THE 22ND DAY OF JUNE, 2023.

JULY 10, 2023 DATE
R.J. CHAPPLE ONTARIO LAND SURVEYOR

SCALE: 1 INCH = 30 FEET
0 10 30 60 FEET



RADIAL SURVEY TO LOCATE THE PRESENT WATER'S EDGE.

SIX	BEARING	DISTANCE
N122°W	44.9'	
N1154°E	50.3'	
N237°E	56.4'	
N337°E	72.9'	
N351°E	80.9'	
N330°E	86.5'	
N313°E	90.6'	
N303°E	96.1'	
N321°E	104.7'	
N337°E	114.3'	
N363°E	119.7'	
N407°E	128.8'	
N437°E	134.6'	
N482°E	141.0'	
N525°E	143.7'	
N538°E	147.6'	
N570°E	148.0'	
N550°E	157.5'	
N680°E	159.2'	
N712°E	161.6'	
N742°E	165.7'	
N764°E	167.3'	
N775°E	168.7'	
N780°E	169.5'	
N787°E	169.5'	
N784°E	164.0'	
N814°E	163.3'	
N842°E	162.8'	
N873°E	164.5'	
S894°E	167.1'	
S884°E	168.8'	
S894°E	170.1'	
N254°E	3.8'	
N480°W	10.6'	
N581°W	18.5'	
N651°W	22.0'	
N670°W	27.6'	
N701°W	36.0'	
N724°W	47.8'	
N733°W	53.8'	
N733°W	62.8'	
N713°W	68.0'	
N682°W	73.8'	
N652°W	80.9'	
N645°W	83.7'	
N615°W	88.8'	
N604°W	91.4'	
N592°W	99.4'	
N537°W	107.0'	
N510°W	111.0'	
N504°W	112.5'	
N494°W	118.1'	

DATE: July 10, 2023

R.J. Chapple O.L.S.
Chapple, Galbraith Surveyors Ltd.

LEGEND
DISTANCES SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
MONUMENTS FOUND ARE AS NOTED:
■ DENOTES SURVEY MONUMENT FOUND.
□ DENOTES SURVEY MONUMENT PLANTED.
SSB DENOTES SHORT STANDARD IRON BAR.
B DENOTES IRON BAR.
RP DENOTES ROCK POST.
(F&B) DENOTES FITZMAURICE AND BOYER, O.L.S.
(1811) DENOTES D. B. CHAPPLE, O.L.S.
(1232) DENOTES S. B. NICHOLSON, O.L.S.

WATER BOUNDARY NOTE:
THE WATER'S EDGE OF SILVER LAKE AS ESTABLISHED BY SURVEY AND SHOWN ON THIS PLAN HAS BEEN ACCEPTED AS BEING THE BEST AVAILABLE EVIDENCE OF THE EDGE OF THIS LAKE AS IT EXISTED AT THE TIME OF THE ORIGINAL SURVEY OF MEDORA TOWNSHIP.

NOTE:
BEARINGS SHOWN ON THIS PLAN ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHWESTERLY LIMIT OF LOT 222, REGISTERED PLAN No. 4 (PORT CARLING), HAVING A BEARING OF N11°06'45"W AS SHOWN ON A SURVEYOR'S REAL PROPERTY REPORT BY D.B. CHAPPLE, O.L.S. & DATED SEPTEMBER 21, 2005.

ALL BUILDING TIES SHOWN HEREON ARE MEASURED TO THE OUTSIDE BUILDING CORNERS AND ARE PERPENDICULAR TO PROPERTY LINES.

CHAPPLE, GALBRAITH SURVEYORS LTD.
ONTARIO LAND SURVEYORS
2 BAILEY STREET, P.O. BOX 496
PORT CARLING, ONTARIO, P0B 1J0
TEL. (705) 765-3579






DRAWN BY SA / VB	CHECKED BY RJC, OLS	SCALE 1" = 30 FEET	FILE 23-6
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NOT TO SCALE

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FLOOR PLANS - SUNDECK

Wall Legend

-  Walls to remain
-  Proposed Wall
-  Foundation Wall
-  Walls to be removed
-  Load Bearing Wall

Number of Steps to be confirmed by Contractor on Site

Deck Notes
All Lumber exposed directly to the exterior weather conditions shall be Pressure treated

C1 Exterior/Interior Stairs

At least one stair between each floor level within a dwelling unit, and exterior stairs and required exit stairs serving a single dwelling unit, shall have a width of not less than 860mm (2'-10"), minimum height over stairs and landing within dwelling units shall be 1950mm (6'-5"), the vertical height between any landings shall not exceed 3700 mm (12'-2").

max. rise: 200mm (7-7/8")
min. rise: 125mm (4-7/8")
max. run: 355mm (14")
min. rise: 255mm (10")

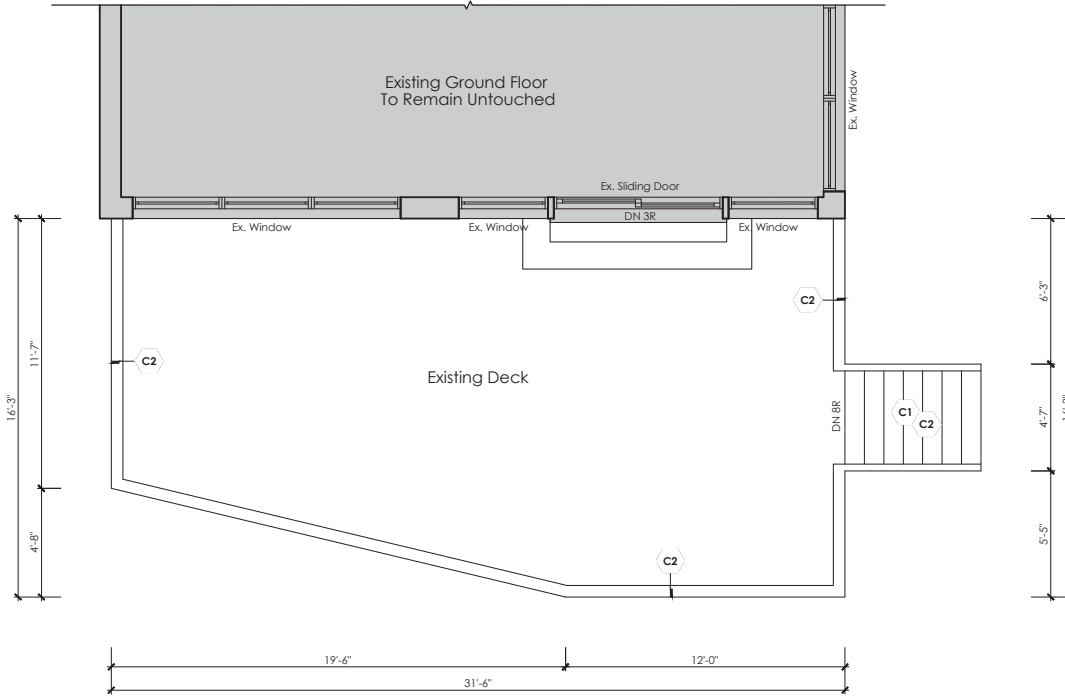
Angled stairs shall have an average run of not less than 200mm (7-7/8") and a min. run of 150mm (5-7/8").

C2 Exterior/Interior Guard

Interior guards: 900mm (2'-11") min.
exterior guards: 900mm (2'-11") min. for a grade difference less than 1800 mm (6'-0"), 1070mm (3'-6") min. for a grade difference more than 1800 mm (6'-0")

handrails at landing to have a min. height of 900mm (2'-11"), handrails at stairs to have a min. height of 800mm (2'-7"), min. one handrail shall be provided with stairs having a width less than 1100mm (3'-7"), two handrails shall be provided with stairs having a width greater than 1100mm (3'-7").

Any Discrepancies discovered on site must be reported to the Designer immediately before construction.



NOT TO SCALE
Existing Deck Plan

FOR INFORMATIONAL PURPOSES ONLY

permitguys

80 Clementine Dr. Unit 15
Brampton, ON L2Y 5K5
Tel: 416 479 9556
Email: info@permitguys.ca

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information:
Shaofeng Lei 124174 
Name Registration Info. **Permitguys.ca Inc.** 110882

Title
Existing Deck Plan

Project Name
6 Darling Dr

Project No. 24-63 Drawn By SL Checked By MZ Date 2024-08-12 3/16"=1'0" Scale

Municipality
Muskoka, ON

Filename
6 DARLING DR_V4

Sheet No.
A3

ELEVATIONS - SUNDECK

Wall Legend

- Walls to remain
- Proposed Wall
- Foundation Wall
- Walls to be removed
- Load Bearing Wall

Number of Steps to be confirmed by Contractor on Site

Deck Notes
All Lumber exposed directly to the exterior weather conditions Shall be Pressure treated

C1 Exterior/Interior Stairs

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C2 Exterior/Interior Guard

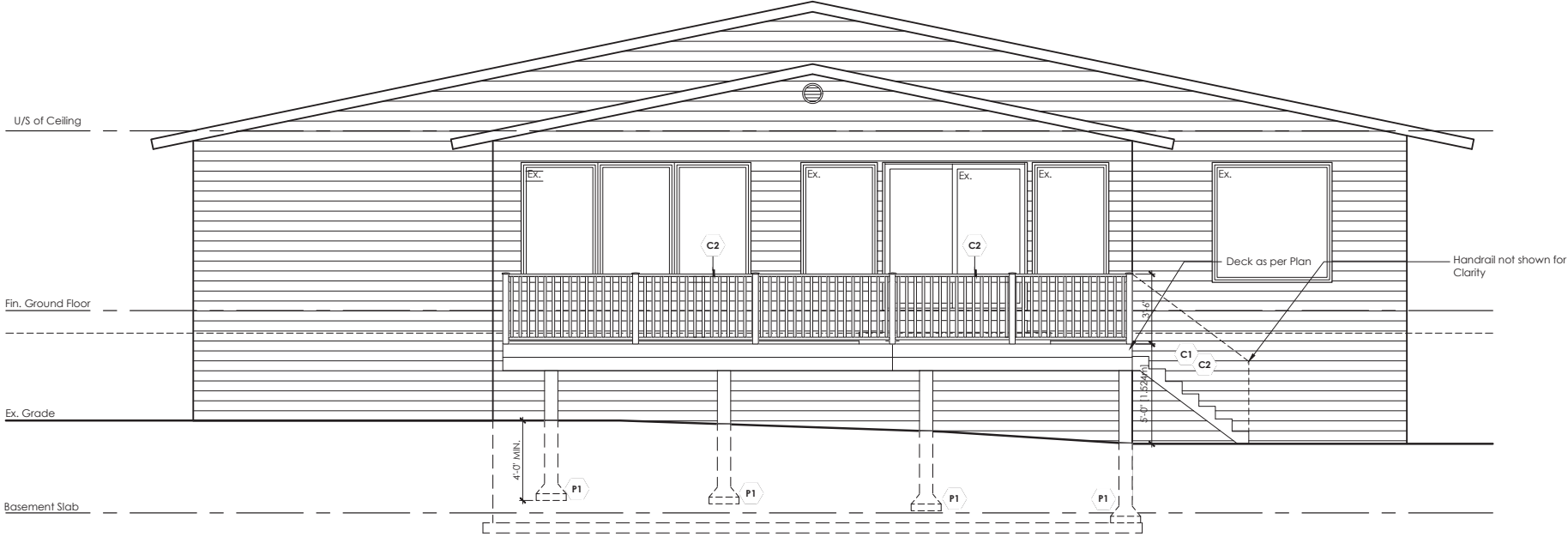
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exterior guards: 900mm (2'-11") min. for a grade difference less than 1800 mm (6'-0"), 1070mm (3'-6") min. for a grade difference more than 1800 mm (6'-0")

handrails of landing to have a min. height of 900mm (2'-11"), handrails at stairs to have a min. height of 800mm (2'-7"), min. one handrail shall be provided with stairs having a width less than 1100mm (3'-7"), two handrails shall be provided with stairs having a width greater than 1100mm (3'-7").

Any Discrepancies discovered on site must be reported to the Designer immediately before construction.

P1 Poured Concrete Pier Foundation

8" Ø 15 MPa poured concrete piers w/ 18" bell footing, minimum 4'-0" below grade on undisturbed ground and minimum 6" above grade. Footing to be founded on natural, undisturbed soil, rock, or compacted granular fill with a minimum bearing capacity of 75 kPa.



NOT TO SCALE
Existing Rear Elevation

FOR INFORMATIONAL PURPOSES ONLY

permitguys
80 Clementine Dr. Unit 15
Brampton, ON L6Y 3K5
Tel: 416 479 9556
Email: info@permitguys.ca

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information:
Shaofeng Lei 124174 雷少锋
Name Signature
Registration Info. **Permitguys.ca Inc.** 110882

Title:
Existing Rear Elevation
Project Name:
6 Darling Dr
Project No. 24-63
Drawn By SL
Checked By MZ
Date 2024-08-12
Scale 3/16"=1'0"

Municipality
Muskoka, ON
Filename
6 DARLING DR_V4
Sheet No.
A4