



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-73/24

Roll No.: 6-27-019

Owners:	Marilyn Raymond, Katherine and James De Gorter, 5 Tyre Avenue, Unit #10, Etobicoke, ON, M9A 1C5		
Address & Description:	1 Silver Island Silver Island, Part 1, Plan 35R-8255, (Medora)		
Zoning:	Waterfront Residential (WR3)	Lake Muskoka (Category 1)	Schedule: 42
Hearing Date: Tuesday, October 15th, 2024 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

The applicants propose to demolish existing docks and a single-storey boathouse and proposed to construct a dock and a two-storey boathouse with an upper-level sleeping cabin, on a lot with less than 300 feet of frontage. The following is a summary of the requested variances:

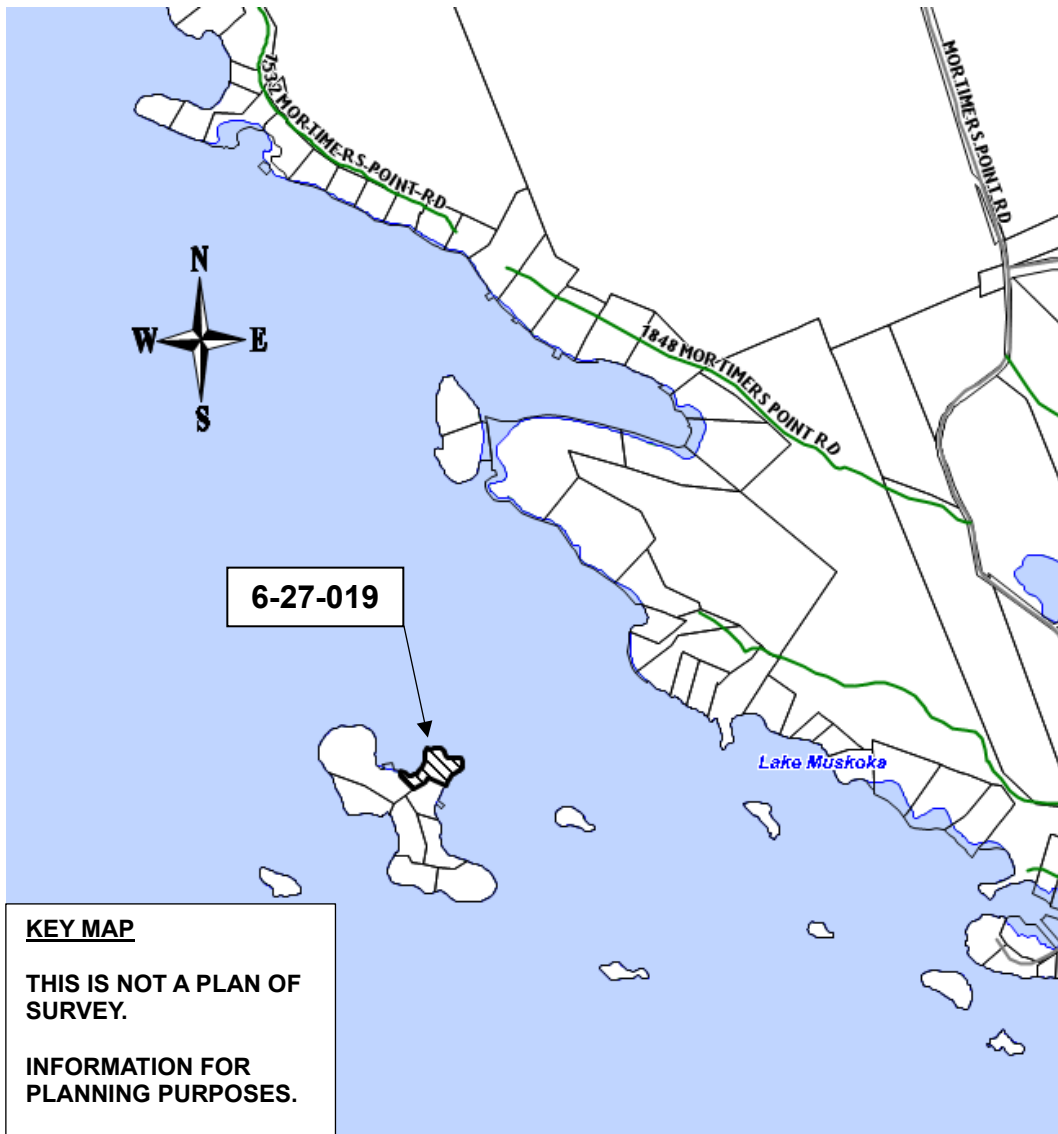
Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.7 & 4.1.7.10	Minimum Lot Frontage Requirement for a Two-Storey Boathouse	300 ft.	293 ft.	7 ft.	Construct a Two-Storey Boathouse on a Lot With Less Than 300 Feet of Lot Frontage in Accordance with Zoning Provisions Required for a Two Storey Boathouse on a Lot With 300 Feet of Lot Frontage



Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
B	4.1.7 & 4.1.7.12 a.	Maximum Cumulative Dock Width	73.3 ft.	79.5 ft.	6.2 ft.	Construct a Dock

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

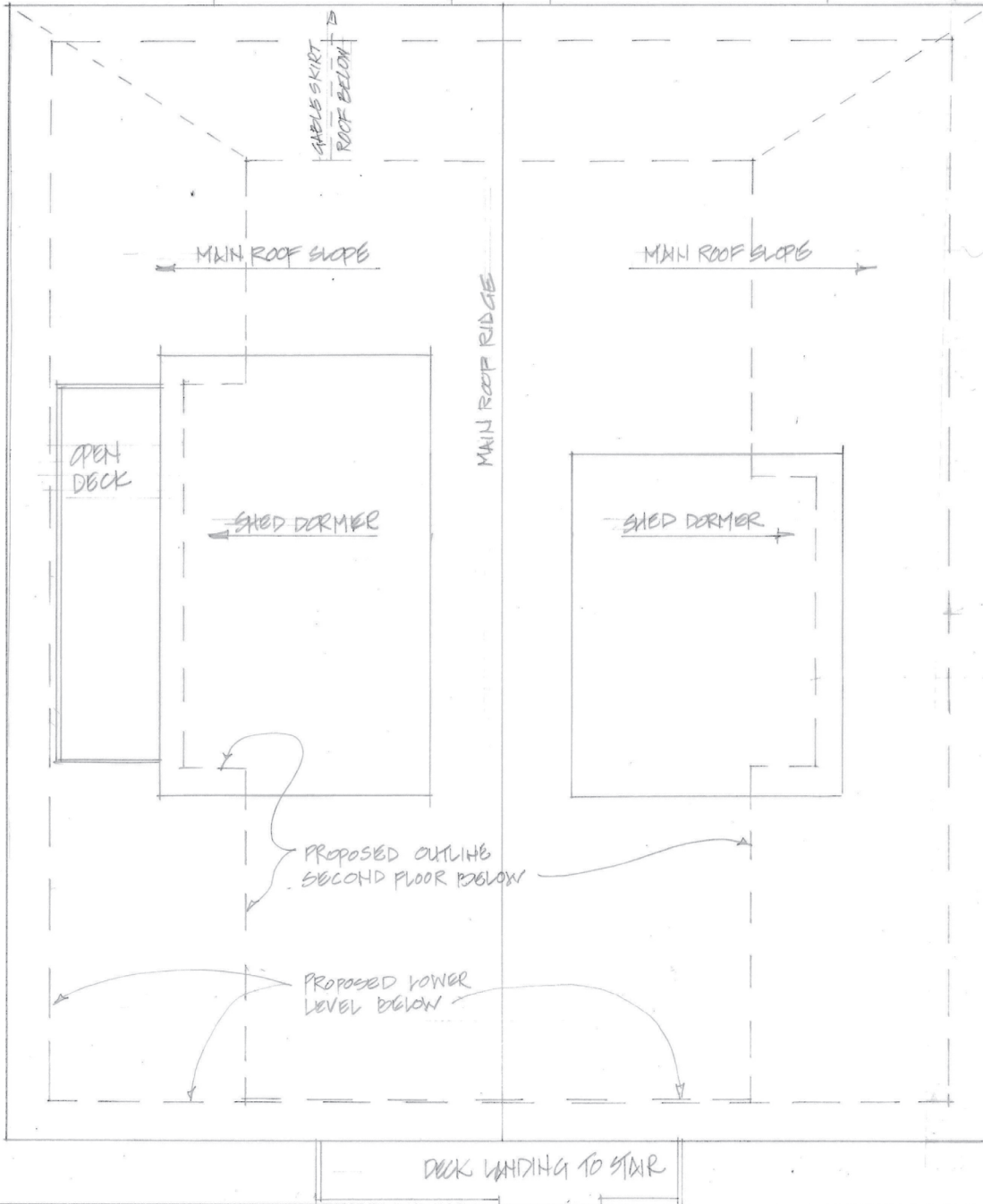
PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 2nd day of October, 2024.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



SITE STATISTICS



SILVER ISLAND BOATHOUSE SITE STATISTICS

		EXISTING	PROPOSED	ALLOWED	
AREA	Lot	1.33 ac			
	Frontage (survey)	293 ft			
	Depth	400 ft			
FLOOR AREA	Cottage total FA (existing)	1956 sf	NA		
	Boathouse 1 st (exist. to be replaced)	410 sf	1200 sf		
	Boathouse 2 nd storey (proposed)	NA	650 sf	650 sf	
SETBACKS	Cottage (existing)	Front	50 ft	NA	
		Rear	120 ft	NA	
		Side North	50 ft	NA	
		Side South	95 ft	NA	
	Boathouse (proposed)	High Water 2 nd	NA	35 ft	35 ft
		Side N 1 st storey	480 ft	464.75 ft	30 ft
	2 nd storey	NA	469.5 ft	45 ft	
	Side S 1 st storey	107 ft	105 ft	30 ft	
	2 nd storey	NA	110 ft	45 ft	
	Docks (closest dock is existing)	Side S	34.5 ft	NA	
New boathouse dock (proposed)		107 ft	102.3 ft	30 ft	
WIDTH	Boathouse (proposed) 1 st storey	14.9 ft	32 ft	46.9 ft	
	2 nd storey	NA	22.4 ft	38.1 ft	
	Docks cumulative	69.5 ft	79.6 ft	75 ft	
HEIGHTS	Cottage (existing)	24.6 ft	NA		
	Boathouse (proposed)	NA	25 ft	25 ft	
DOCK LENGTH		41.17 ft	43.17 ft	66 ft	
BOATHOUSE LENGTH		27.5 ft	37.5 ft	50 ft	
DOCK FRONT YARD EXT. BEYOND HIGH WATER		2 ft	2 ft	10 ft	

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

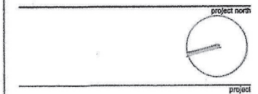
- Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. This drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
- Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
- Positions of proposed finishes for mechanical or electrical work, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing governs over the mechanical and electrical drawings. These items not clearly located will be located as directed by the Architect.
- These drawings are not to be used for construction unless noted below as "Issued for Construction".
- All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
- The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date

RACHAEL KELEBAY ARCHITECT

297 RIVERSIDE DRIVE,
TORONTO, ON M5S 4B1

PH: 416-998-1914
rachael.kelebay@rogers.com



SILVER ISLAND
BOATHOUSE

project number
2024-02
date
SEPT. 2024
scale
1/4" = 1'-0"
designed by
RK
checked

ROOF PLAN &
SITE STATISTICS

AK

ELEVATIONS - BOATHOUSE




1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design coordination only.
3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed fasteners for mechanical or electrical devices, filling and finishes are indicated on architectural drawings. The location shown on the architectural drawing governs over the mechanical and electrical drawings. These items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless refer below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authority having jurisdiction.
7. The Architect of these plans and specifications plans no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date

RACHAEL KELEBAY ARCHITECT
 287 RIVERSIDE DRIVE,
 TORONTO, ON M6S 4B1
 PH: 416-906-1914
 rachael.kelebay@rogers.com

project north



project

**SILVER ISLAND
BOATHOUSE**

project number
2024-02

date
SEPT. 21/24

scale
1/4" = 1'-0"

drawn by
RK

EAST ELEVATION

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

X5

ELEVATIONS - BOATHOUSE



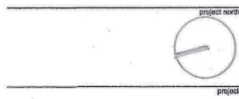
FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

1. Copyright of this drawing is reserved by the Architect. The drawing and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide verbatim clarification or supplementary information regarding the intent of the Contract Documents. The Architect will neither Stop Drawings submitted by the Contractor for design confirmation only.
3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discuss same with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed finishes for mechanical or electrical devices, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing governs over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authority having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date

RACHAEL KELEBAY ARCHITECT
 297 RIVERSIDE DRIVE,
 TORONTO, ON M6S 4B1
 PH: 416-996-1914
 rachael.kelebay@rogers.com



**SILVER ISLAND
 BOATHOUSE**

project number
 2024-02
 date
 SEPT. 24
 scale
 1/4" = 1'-0"
 drawn by
 RE

WEST ELEVATION

sheet
 ALG

ELEVATIONS - BOATHOUSE



- Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
- Drawings are not to be sealed for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
- Positions of exposed anchors for mechanical or electrical conduit, piping and fixtures are indicated on architectural drawings. The location shown on the architectural drawing governs over the mechanical and electrical drawings. These items not clearly located will be located as directed by the Architect.
- These drawings are not to be used for construction unless noted below as "Sealed for Construction".
- All work to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
- The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must verify themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date

RACHAEL KELEBAY ARCHITECT
 297 RIVERSIDE DRIVE
 TORONTO, ON M5S 4B1
 PH: 416-996-1914
 rachael.kelebay@rogers.com

PROJECT NUMBER
SILVER ISLAND BOATHOUSE
PROJECT NUMBER
2024-02
DATE
SEPT. 27/24
SCALE
1/4" = 1'-0"
DRAWN BY
RK

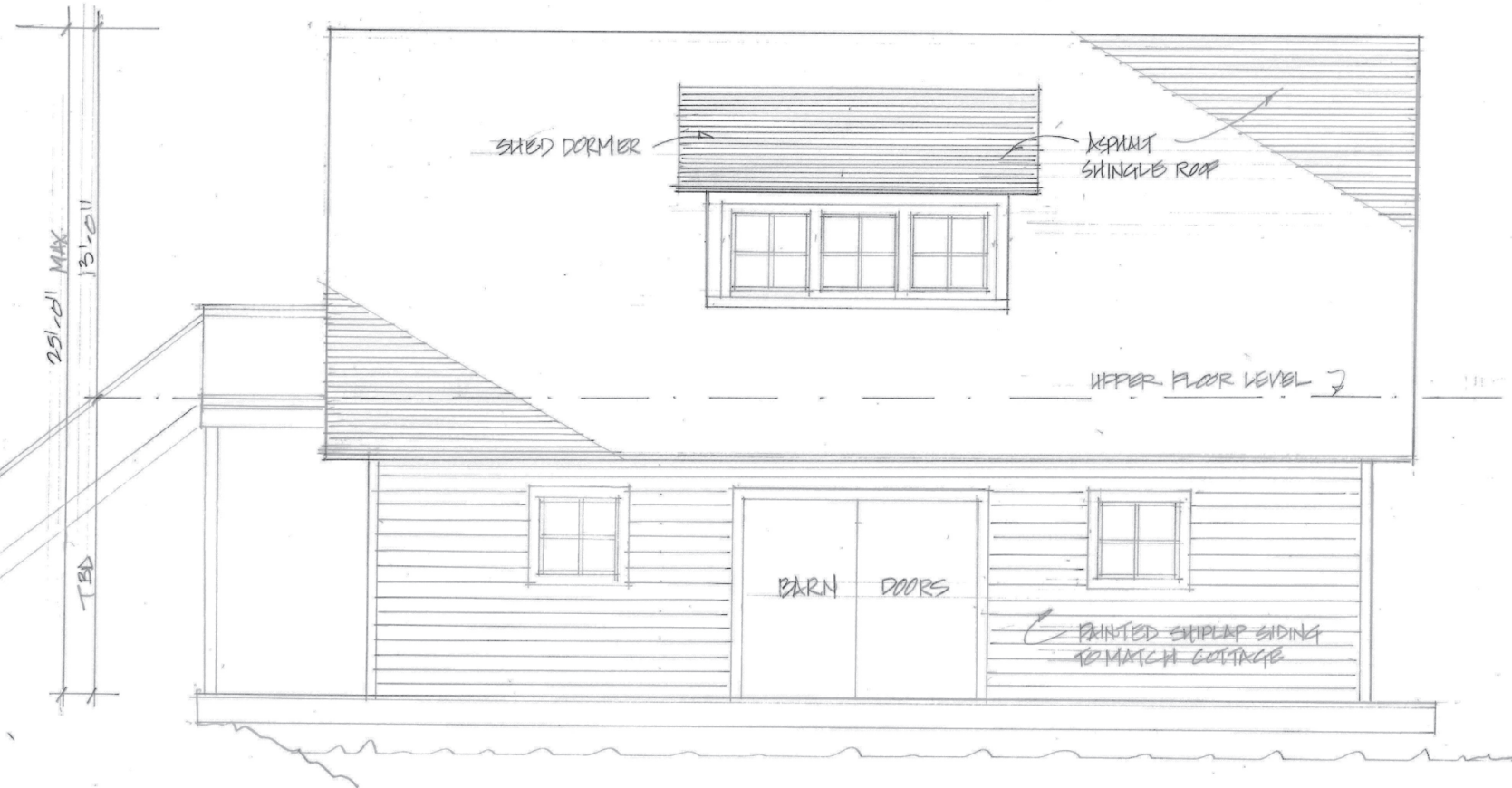
NORTH ELEVATION

A7

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

ELEVATIONS - BOATHOUSE



1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Positions of exposed fixtures for mechanical or electrical devices, piping and fixtures are indicated on architectural drawings. The location shown on the architectural drawing governs over the mechanical and electrical drawings. These items not clearly located will be located as directed by the Architect.
5. These drawings are not to be used for construction unless noted below as "Issued for Construction".
6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the buildings represented by them. All contractors or subcontractors must verify themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Issuance	Date

RACHAEL KELEBAY ARCHITECT
 287 RIVERSIDE DRIVE,
 TORONTO, ON M5S 4B1
 PH: 416-996-1914
 rachael.kelebay@rogers.com

project name

SILVER ISLAND
BOATHOUSE

project number

2024-02

DATE

SEPT. 21/24

SCALE

1/4" = 1'-0"

drawn by

RK

sheet

SOUTH ELEVATION

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

AS

