



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-70/24

Roll No.: 4-23-071

Owner:	Lee-Anne Arkell, 519 Valley Drive, Oakville, ON, L6L 4L9		
Address & Description:	1900 Mortimers Point Road, Unit #7 Part of Lots 27 and 28, Concessions C and D, Part 1, Plan 35R-15419, (Medora)		
Zoning:	Waterfront Residential (WR1)	Lake Muskoka (Category 1 Lake)	Schedule: 42
Hearing Date: Monday, September 9th 2024 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

The applicant proposes to recognize an as-built screened-in porch addition to a dwelling and intends to remove two sheds. The following is a summary of the requested variances:

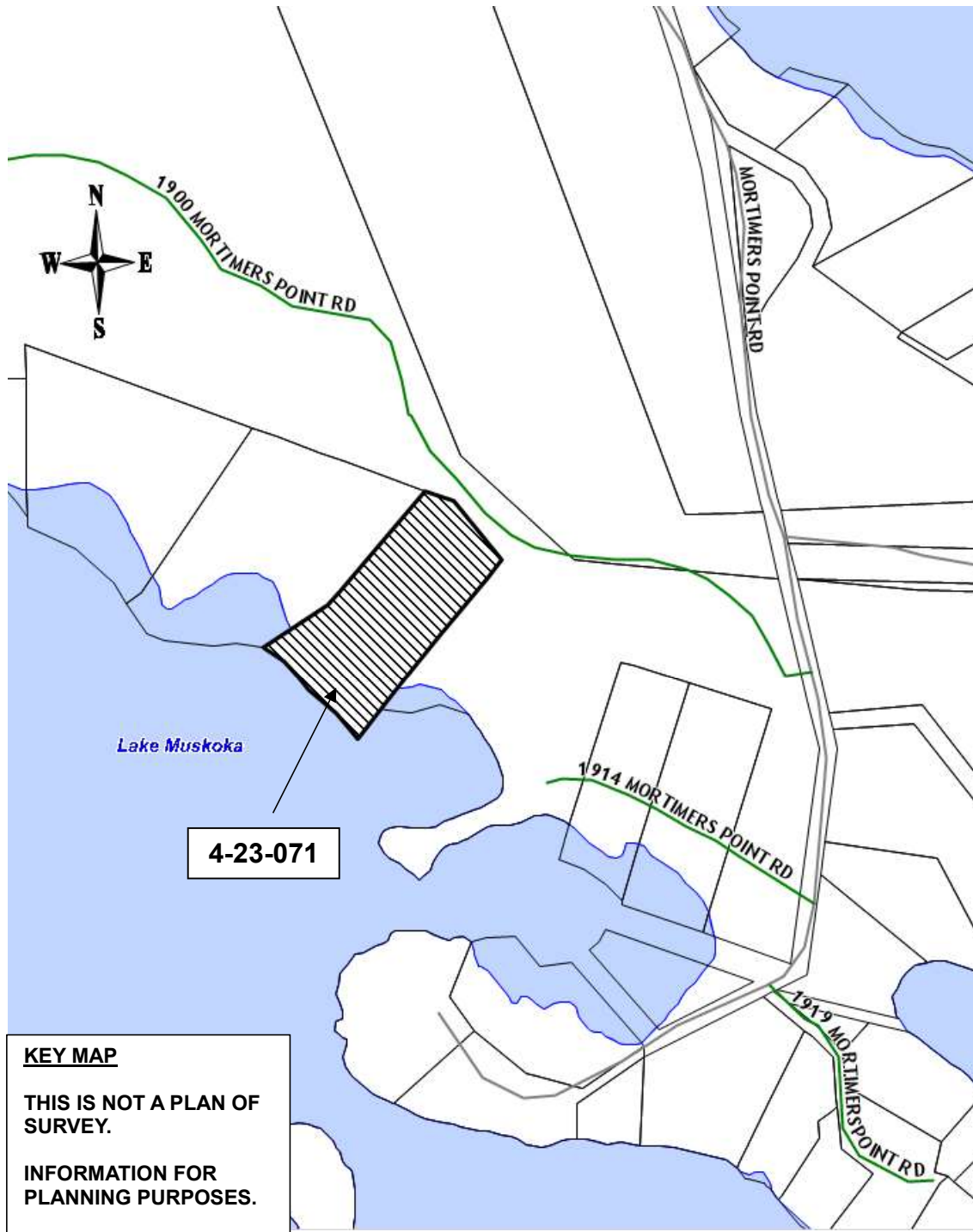
Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3.6 and 4.1.3.7	Maximum Lot Coverage (Within 200 Feet from the High Water Mark)	10% (3,941 sq. ft.)	11.2% (4,423 sq. ft.)	1.2% (482 sq. ft.)	Recognize an As-built Dwelling Addition
B	4.1.3	Minimum Required Setback from the High Water Mark	66 ft.	34 ft.	32 ft.	Recognize an As-built Dwelling Addition

Please note that the existing lot coverage within 200 feet from the high water mark is 11.2%. No increase in lot coverage is proposed through this application.



A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 30th day of August, 2024.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca





Design By Bobbi

CONTACT INFORMATION:

Name: Bobbi Leppington
 Phone: 705-321-8316
 Email: designbybobbi@gmail.com
 Location: 379 Regent Street
 Orillia, Ontario
 L3V 4E1

GENERAL NOTE:

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO THE DESIGNER.

PROJECT INFORMATION:

Lee-ann Arkell
 1900 Meritimers Point Rd
 Lot 7

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:

18485 B. Leppington
 BCIN SIGNATURE
 REGISTRATION INFORMATION:
 103806 Design by Bobbi
 BCIN FIRM NAME

REVISIONS

NUMBER	DATE	REVISED BY	DESCRIPTION
01	02.05.21	SLR	Site Plan
02	02.06.21	B.J.L	PERMIT
03			
04			

DRAWN BY:

Steve Rossiter

SCALE:

SCALE 1:500

DRAWING:

Site Plan and Zoning

PROJECT NUMBER:

2021 - 060

SHEET NUMBER:

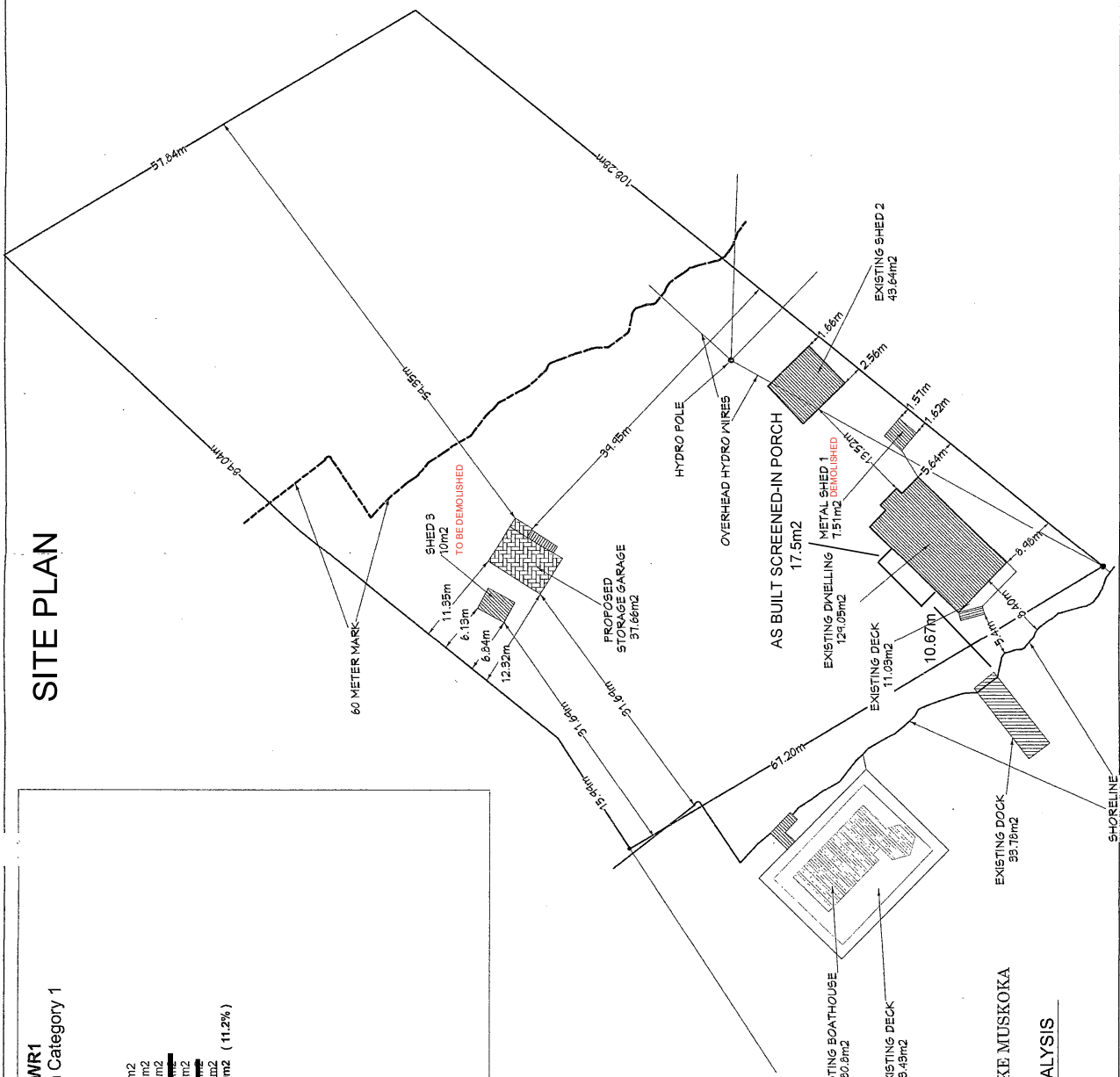
SP 1.0

SITE PLAN

Zoning WR1
 Lake Muskoka Category 1

Lot Coverage : Max 10%
 Lot size first 60m

3660.9m ²
AS-BUILT SCREENED-IN PORCH 17.5m ²
Existing Dwelling 128.0m ²
Existing Boathouse/Deck 183.4m ²
Existing Shed 1 43.6m ²
Existing Shed 2 37.4m ²
Proposed Garage/Storage 410.9m ² (11.2%)
Total

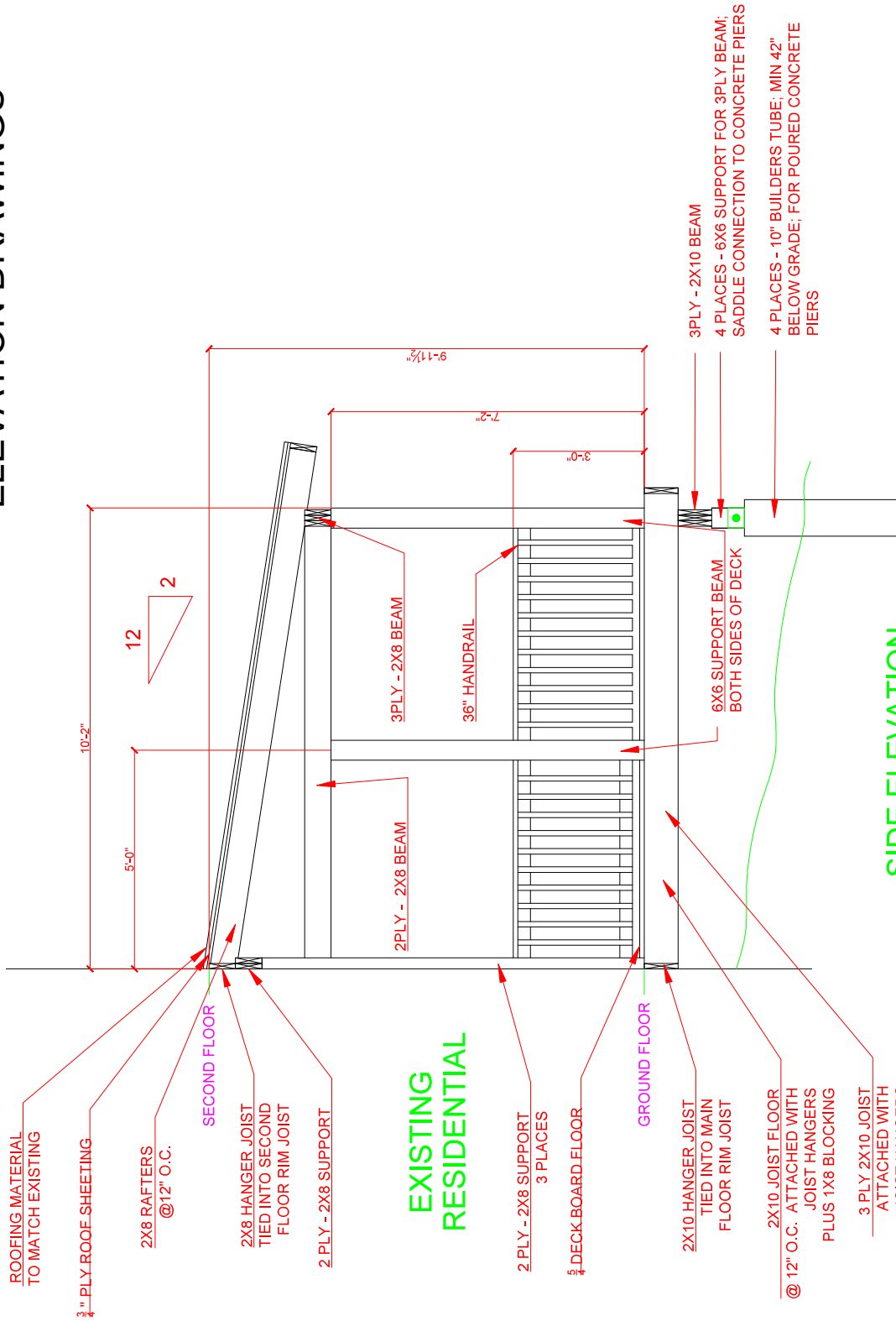


NOT TO SCALE



P1 SITE PLAN AND ZONING ANALYSIS
 SP-1.0

ELEVATION DRAWINGS



ROOFING MATERIAL TO MATCH EXISTING

3/4" PLY ROOF SHEETING

2X8 RAFTERS @12" O.C.

SECOND FLOOR

2X8 HANGER JOIST TIED INTO SECOND FLOOR RIM JOIST

2 PLY - 2X8 SUPPORT

EXISTING RESIDENTIAL

2 PLY - 2X8 SUPPORT 3 PLACES

1/4" DECK BOARD FLOOR

GROUND FLOOR

2X10 HANGER JOIST TIED INTO MAIN FLOOR RIM JOIST

2X10 JOIST FLOOR @ 12" O.C. ATTACHED WITH JOIST HANGERS PLUS 1X8 BLOCKING

3 PLY 2X10 JOIST ATTACHED WITH JOIST HANGERS (4 PIER LOCATIONS)

10'-2"

12

2

5'-0"

9'-11 1/2"

7'-2"

3'-0"

3 PLY - 2X8 BEAM

36" HANDRAIL

2 PLY - 2X8 BEAM

3 PLY - 2X10 BEAM

4 PLACES - 6X6 SUPPORT FOR 3PLY BEAM; SADDLE CONNECTION TO CONCRETE PIERS

4 PLACES - 10" BUILDERS TUBE; MIN 42" BELOW GRADE; FOR POURED CONCRETE PIERS

6X6 SUPPORT BEAM BOTH SIDES OF DECK

SIDE ELEVATION

FOR INFORMATIONAL PURPOSES ONLY

22 SQ FT OF COVERED AREA TO BE REMOVED

General Notes

No.	Revision/Issue	Date
01	Issued for Review	06/25/24

Project Name and Address
7-1900 Mortimers Point Rd
Port Catling, ON
DECK ADDITION
BY OWNER

Project	Sheet
Deck Addition	A1
Date	23JUN2024
Scale	NTS