



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

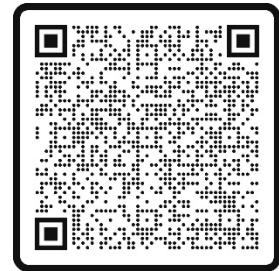
To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-69/24

Roll No.: 4-14-014

Owners:	Tania & Brian Archedkin, 169 Glenrose Avenue, Toronto, ON, M4T 1K7		
Address & Description:	1052 Cedar Rail Drive Part of Lot 22, Concession 9, Parts 1 and 2, Plan 35R-8086, Parts 1 and 2, Plan 35R-26103, (Medora)		
Zoning:	Waterfront Residential (WR1)	Lake Rosseau (Category 1)	Schedule: 21
Hearing Date: Monday, September, 9th, 2024 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notice/> or scan the QR code.



Explanation of the Purpose and Effect:

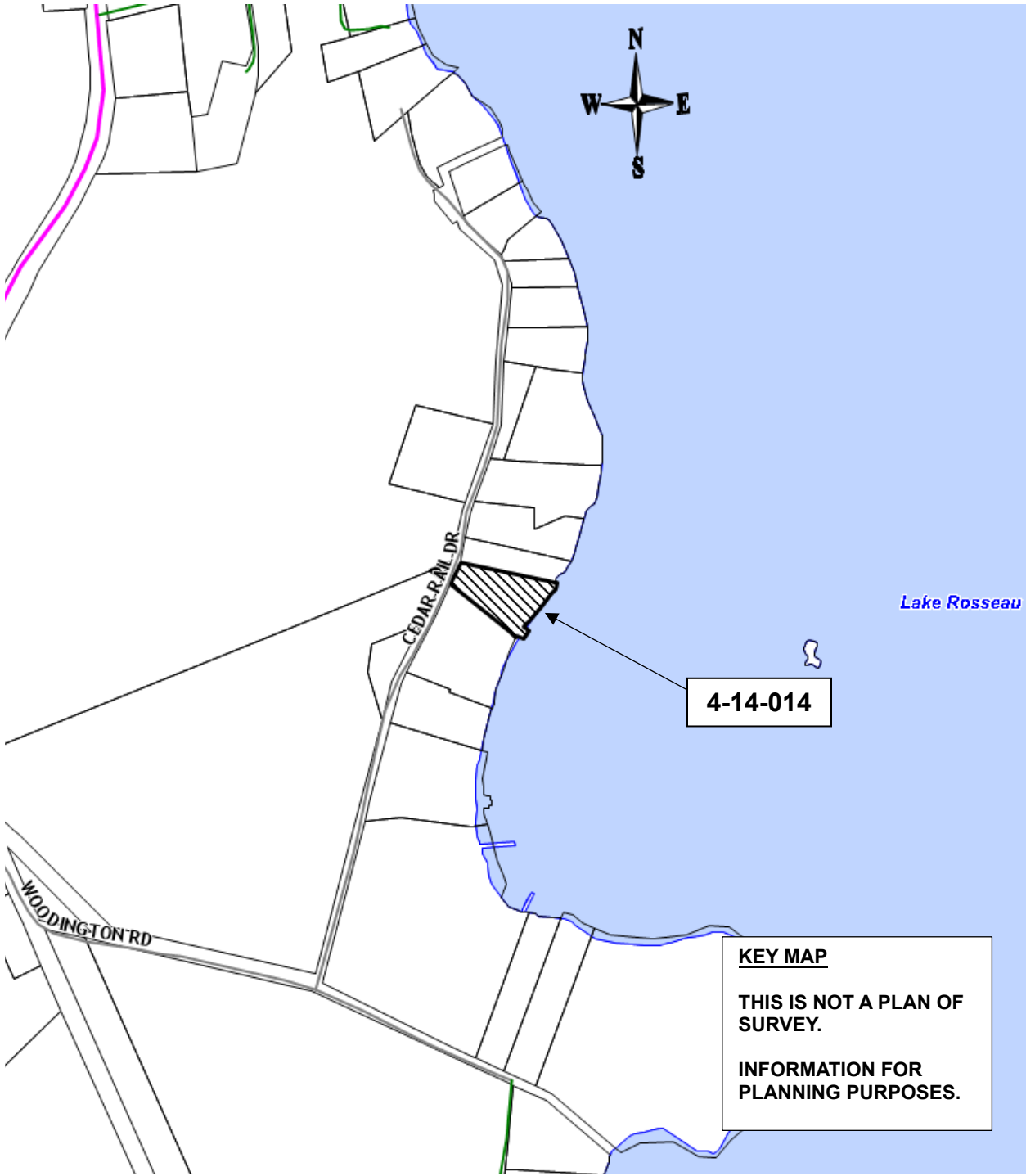
The applicants propose to demolish a one storey dwelling and a sleeping cabin and propose to construct a two-storey dwelling. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3.6 & 4.1.3.7	Maximum Permitted Lot Coverage Within 200 ft. of the High Water Mark	3,659.7 sq. ft. (10%)	4,943.8 sq. ft. (13.5%)	1,284.1 sq. ft. (3.5%)	Reconfigure existing lot coverage to permit the construction of a two-storey dwelling addition.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

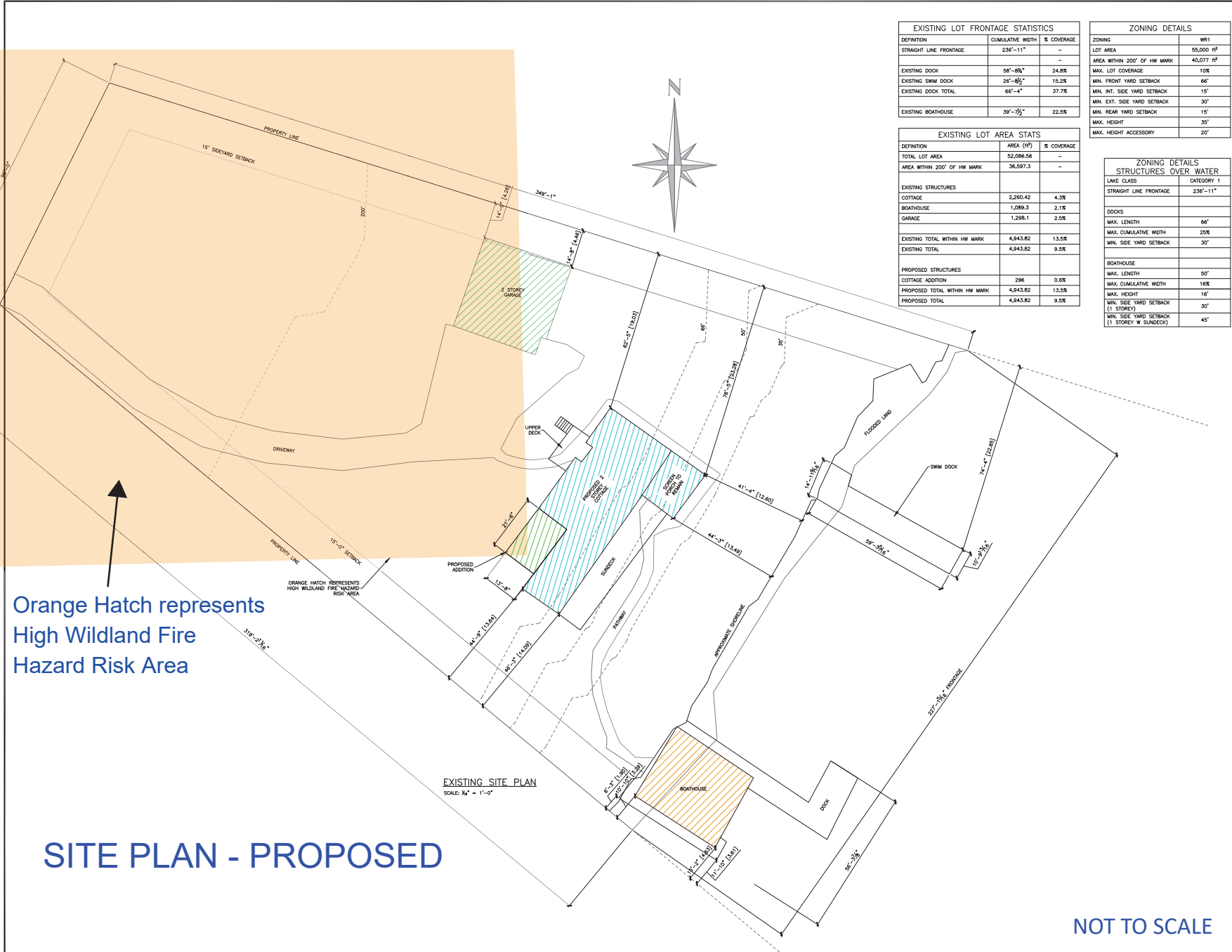
DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 30th day of August, 2024.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca





EXISTING LOT FRONTAGE STATISTICS		
DEFINITION	CUMULATIVE WIDTH	% COVERAGE
STRAIGHT LINE FRONTAGE	238'-11"	-
EXISTING DOCK	56'-00"	24.8%
EXISTING SWIM DOCK	26'-00"	15.2%
EXISTING DOCK TOTAL	66'-4"	37.7%
EXISTING BOATHOUSE	39'-00"	22.5%

EXISTING LOT AREA STATS		
DEFINITION	AREA (SF)	% COVERAGE
TOTAL LOT AREA	52,086.56	-
AREA WITHIN 200' OF HW MARK	36,597.3	-
EXISTING STRUCTURES		
COTTAGE	2,280.42	4.3%
BOATHOUSE	1,089.3	2.1%
GARAGE	1,288.1	2.5%
EXISTING TOTAL WITHIN HW MARK	4,943.82	13.5%
EXISTING TOTAL	4,943.82	9.5%
PROPOSED STRUCTURES		
COTTAGE ADDITION	296	0.6%
PROPOSED TOTAL WITHIN HW MARK	4,943.82	13.5%
PROPOSED TOTAL	4,943.82	9.5%

ZONING DETAILS	
ZONING	WR1
LOT AREA	55,000 SF
AREA WITHIN 200' OF HW MARK	40,077 SF
MAX. LOT COVERAGE	10%
MIN. FRONT YARD SETBACK	66'
MIN. INT. SIDE YARD SETBACK	15'
MIN. EXT. SIDE YARD SETBACK	30'
MIN. REAR YARD SETBACK	15'
MAX. HEIGHT	35'
MAX. HEIGHT ACCESSORY	20'

ZONING DETAILS STRUCTURES OVER WATER	
LAKE CLASS	CATEGORY 1
STRAIGHT LINE FRONTAGE	238'-11"
DOCKS	
MAX. LENGTH	66'
MAX. CUMULATIVE WIDTH	25%
MIN. SIDE YARD SETBACK	30'
BOATHOUSE	
MAX. LENGTH	50'
MAX. CUMULATIVE WIDTH	16%
MAX. HEIGHT	16'
MIN. SIDE YARD SETBACK (1 STOREY)	30'
MIN. SIDE YARD SETBACK (1 STOREY W SUNDECK)	45'



705.640.3800
 INFO@DEKONINGGROUP.COM
 3 ARMSTRONG POINT ROAD
 PORT CARLING, ONTARIO
 POB 1J0

PROFESSIONAL ENGINEER
 BION REGISTRATION INFORMATION 1524300
 DE KONING GROUP INC. FROM BCIN
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.41 OF THE BUILDING CODE.

NO.	DESCRIPTION	DATE
4	ISSUED FOR MINOR VARIANCE	AUG 27 2024
3	ISSUED FOR REVIEW	NOV 03 2023
2	ISSUED FOR REVIEW	NOV 03 2023
1	ISSUED FOR REVIEW	SEP 12 2023
	PREPARED BY: CLAYTON	DATE:

CLIENT
 HORIZON BUILDING

PROJECT
 ARCHDEKIN COTTAGE
 DECK & SCREENED PORCH
 1052 CEDAR RAIL DRIVE
 TOWNSHIP OF MUSKOKA LAKES

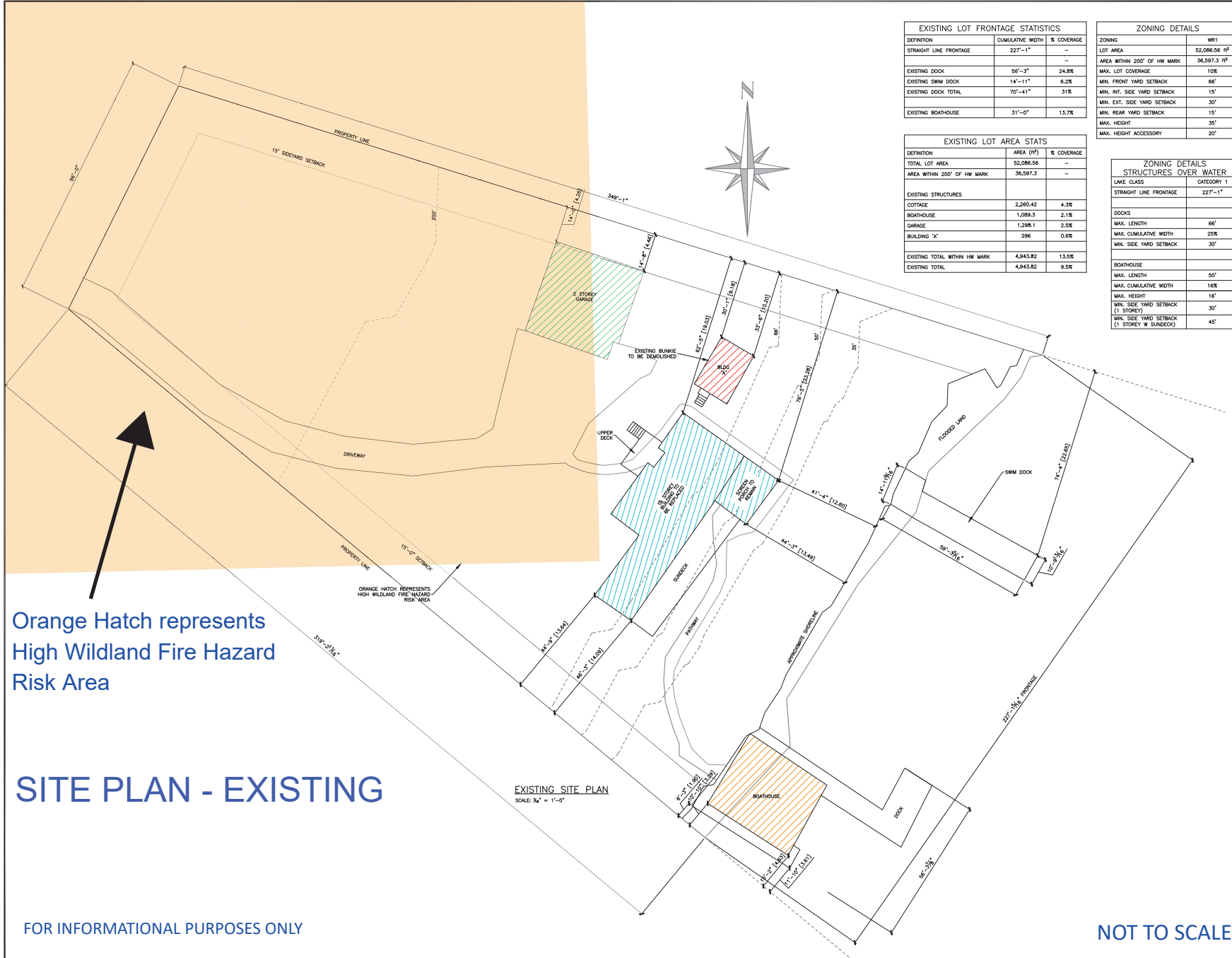
DRAWING
 PROPOSED SITE PLAN

DATE SEPTEMBER 2023
 PROJECT 21-275-01
 DESIGNED BK
 REVIEWED NDK
 SCALE AS SHOWN
 SHEET

SP2

NOT TO SCALE

SITE PLAN - PROPOSED



EXISTING LOT FRONTAGE STATISTICS		
DEFINITION	CUMULATIVE WIDTH	% COVERAGE
STRAIGHT LINE FRONTAGE	227'-1"	-
EXISTING DOCK	56'-3"	24.8%
EXISTING SWIM DOCK	14'-11"	6.2%
EXISTING DOCK TOTAL	70'-41"	31%
EXISTING BOATHOUSE	31'-0"	13.7%

EXISTING LOT AREA STATS		
DEFINITION	AREA (SF)	% COVERAGE
TOTAL LOT AREA	52,286.58	-
AREA WITHIN 200' OF HW MARK	36,597.3	-
EXISTING STRUCTURES		
COTTAGE	2,260.42	4.3%
BOATHOUSE	1,089.3	2.1%
GARAGE	1,298.1	2.5%
BUILDING 'A'	296	0.6%
EXISTING TOTAL WITHIN HW MARK	4,943.82	13.5%
EXISTING TOTAL	4,943.82	9.5%

ZONING DETAILS	
ZONING	HW1
LOT AREA	52,286.58 R ²
AREA WITHIN 200' OF HW MARK	36,597.3 R ²
MAX. LOT COVERAGE	10%
MIN. FRONT YARD SETBACK	66'
MIN. INT. SIDE YARD SETBACK	15'
MIN. EXT. SIDE YARD SETBACK	30'
MIN. REAR YARD SETBACK	15'
MAX. HEIGHT	35'
MAX. HEIGHT ACCESSORY	20'

ZONING DETAILS STRUCTURES OVER WATER	
LAKE CLASS	CATEGORY 1
STRAIGHT LINE FRONTAGE	227'-1"
DOCKS	
MAX. LENGTH	66'
MAX. CUMULATIVE WIDTH	25%
MIN. SIDE YARD SETBACK	30'
BOATHOUSE	
MAX. LENGTH	50'
MAX. CUMULATIVE WIDTH	16%
MAX. HEIGHT	16'
MIN. SIDE YARD SETBACK (1 STOREY)	30'
MIN. SIDE YARD SETBACK (1 STOREY W SUNDECK)	45'

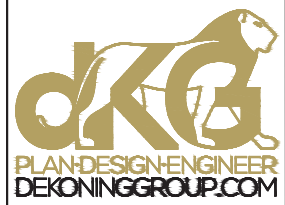
Orange Hatch represents High Wildland Fire Hazard Risk Area

SITE PLAN - EXISTING

EXISTING SITE PLAN
SCALE: 3/4" = 1'-0"

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE



705.640.3800
INFO@DEKONINGGROUP.COM
3 ARMSTRONG POINT ROAD
PORT CARLING, ONTARIO
POB 1J0

PROFESSIONAL ENGINEER
BION REGISTRATION INFORMATION 1524300
DEKONING GROUP INC. FIRM BCIN
FIRM NAME FIRM BCIN
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.41 OF THE BUILDING CODE.

NO.	DESCRIPTION	DATE
4	ISSUED FOR MINOR VARIANCE	AUG 27 2024
3	ISSUED FOR REVIEW	AUG 26 2024
2	ISSUED FOR REVIEW	NOV 03 2023
1	ISSUED FOR REVIEW	SEP 12 2023
	PREPARED BY: CLAYTON	DATE:

CLIENT
HORIZON BUILDING

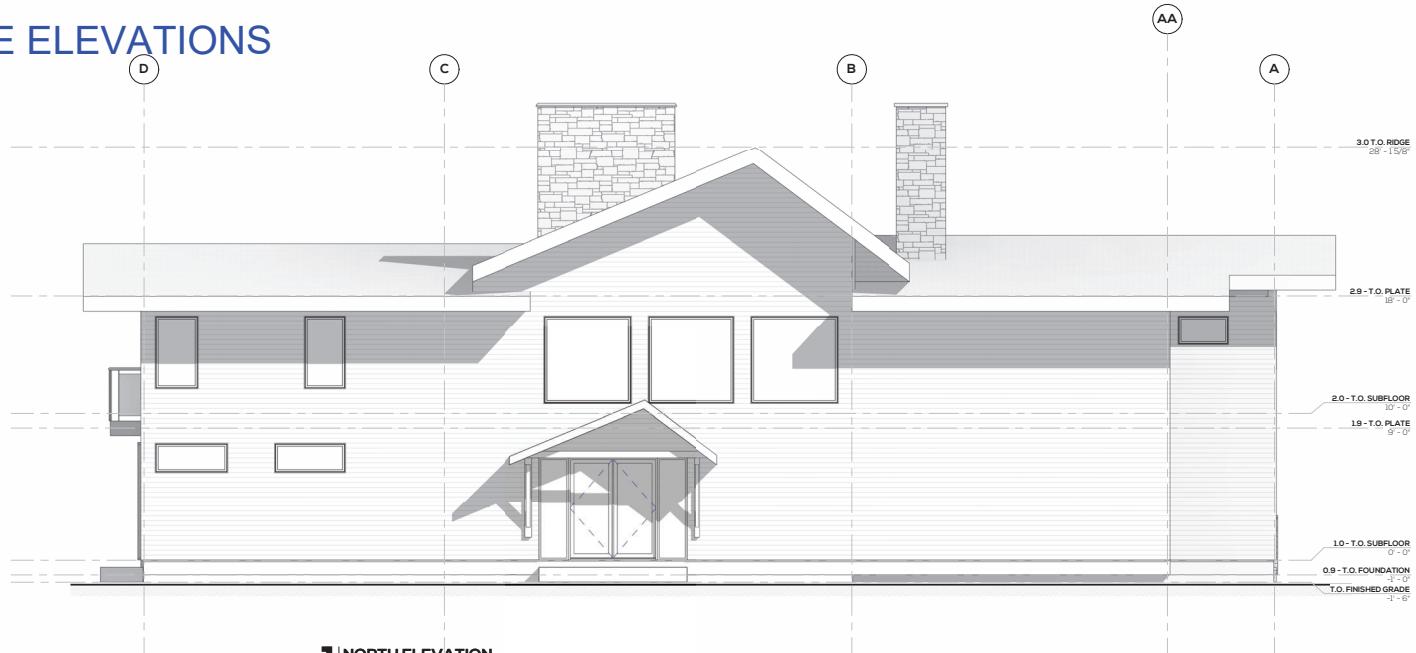
PROJECT
ARCHDEKIN COTTAGE DECK & SCREENED PORCH
1052 CEDAR RAIL DRIVE
TOWNSHIP OF MUSKOKA LAKES

DRAWING
EXISTING SITE PLAN

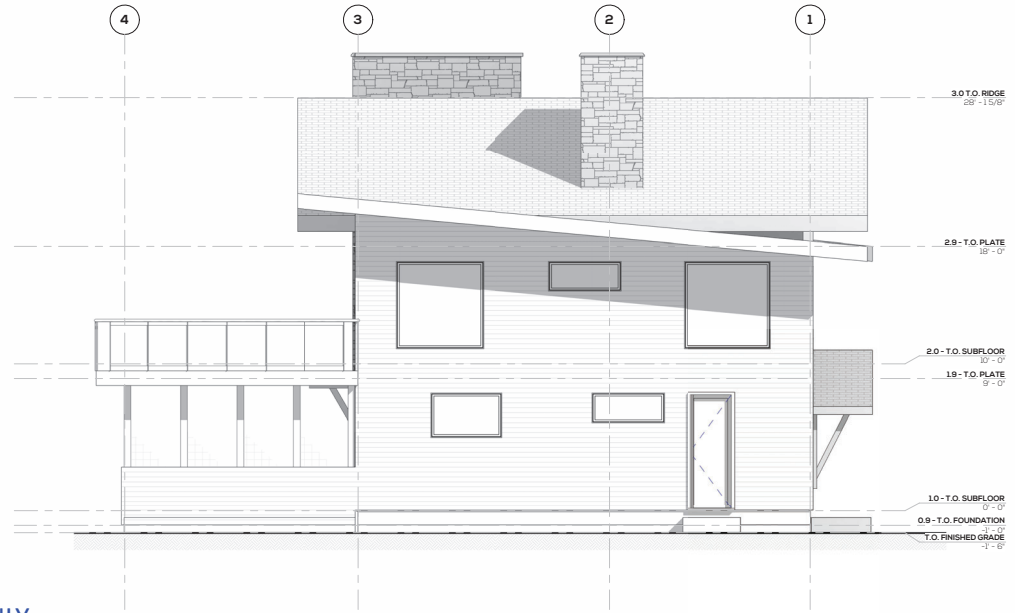
DATE: SEPTEMBER 2023
PROJECT: 21-275-01
DESIGNED: BK
REVIEWED: NIK
SCALE: AS SHOWN
SHEET:

SP1

COTTAGE ELEVATIONS



1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

Office
2 Armstrong Point Road
Port Carling, Ontario, Canada
POB 130 (P.O. Box 340)
705.640.3800
info@dekoningroup.com

PROFESSIONAL ENGINEER

**FOR REVIEW
NOT PERMIT**

ARCHDEKIN COTTAGE
1052 CEDAR RAIL DRIVE
TOWNSHIP OF MUSKOKA LAKES

Client:
HORIZON BUILDING

REV.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	2024.08.14
2	ISSUED FOR MV.	2024.08.27

ELEVATIONS

P/N	21-275-01
Project Date	AUG 2024
Drawn / Checked	BK / Nsk

A2.1

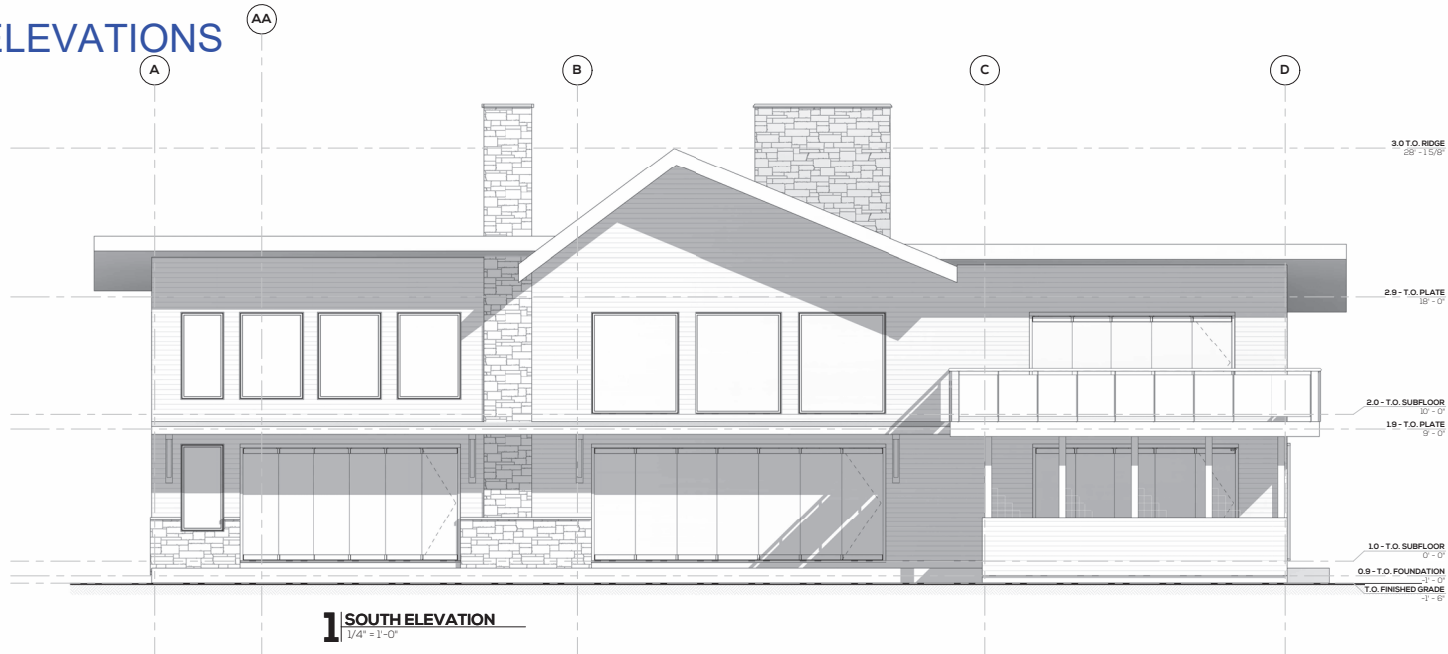
Scale 1/4" = 1'-0"

REVISION SET: 2024.08.27

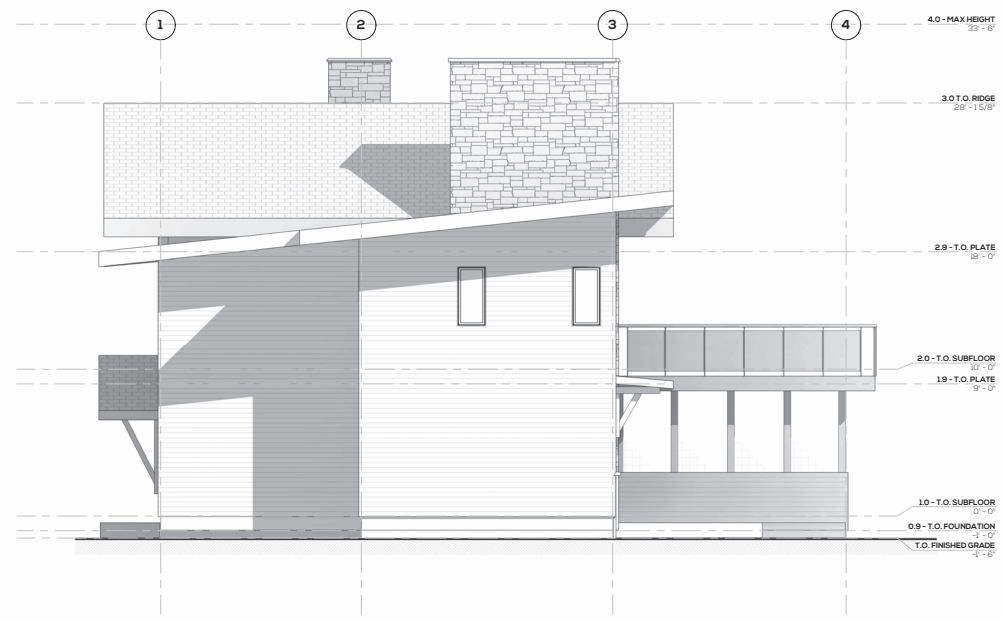
FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

COTTAGE ELEVATIONS



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



Office
3 Armstrong Point Road
Port Carling, Ontario, Canada
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PROFESSIONAL ENGINEER

**FOR REVIEW
NOT PERMIT**

ARCHDEKIN COTTAGE
1052 CEDAR RAIL DRIVE
TOWNSHIP OF MUSKOKA LAKES

Client:		
HORIZON BUILDING		
REV.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	2024.08.14
2	ISSUED FOR REV.	2024.08.27

ELEVATIONS

P/N 21-275-01
Project Date AUG 2024
Drawn / Checked BK / Nsk

A2.2

Scale 1/4" = 1'-0"

REVISED: 2024.08.27

FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE