



1 Bailey Street  
Port Carling, ON P0B 1J0

E: [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) P: 705-765-3156 F: 705-765-6755

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

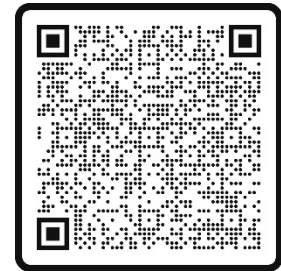
To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-63/24

Roll No.: 2-13-077

<b>Owners:</b>	Michael Ridgwell and Bonnie-Lyn Gow, 10 Irene Drive, Barrie, ON, L4N 0Y7		
<b>Address &amp; Description:</b>	300 Luckey Road Lots 1 and 2, Concession 8, (Watt)		
<b>Zoning:</b>	Rural (RU1) and Environmental Protection (EP1)	Lake: Not Applicable	Schedule: 17
<b>Hearing Date: Monday, August 12th, 2024 at 9:00 a.m.</b>			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



### Explanation of the Purpose and Effect:

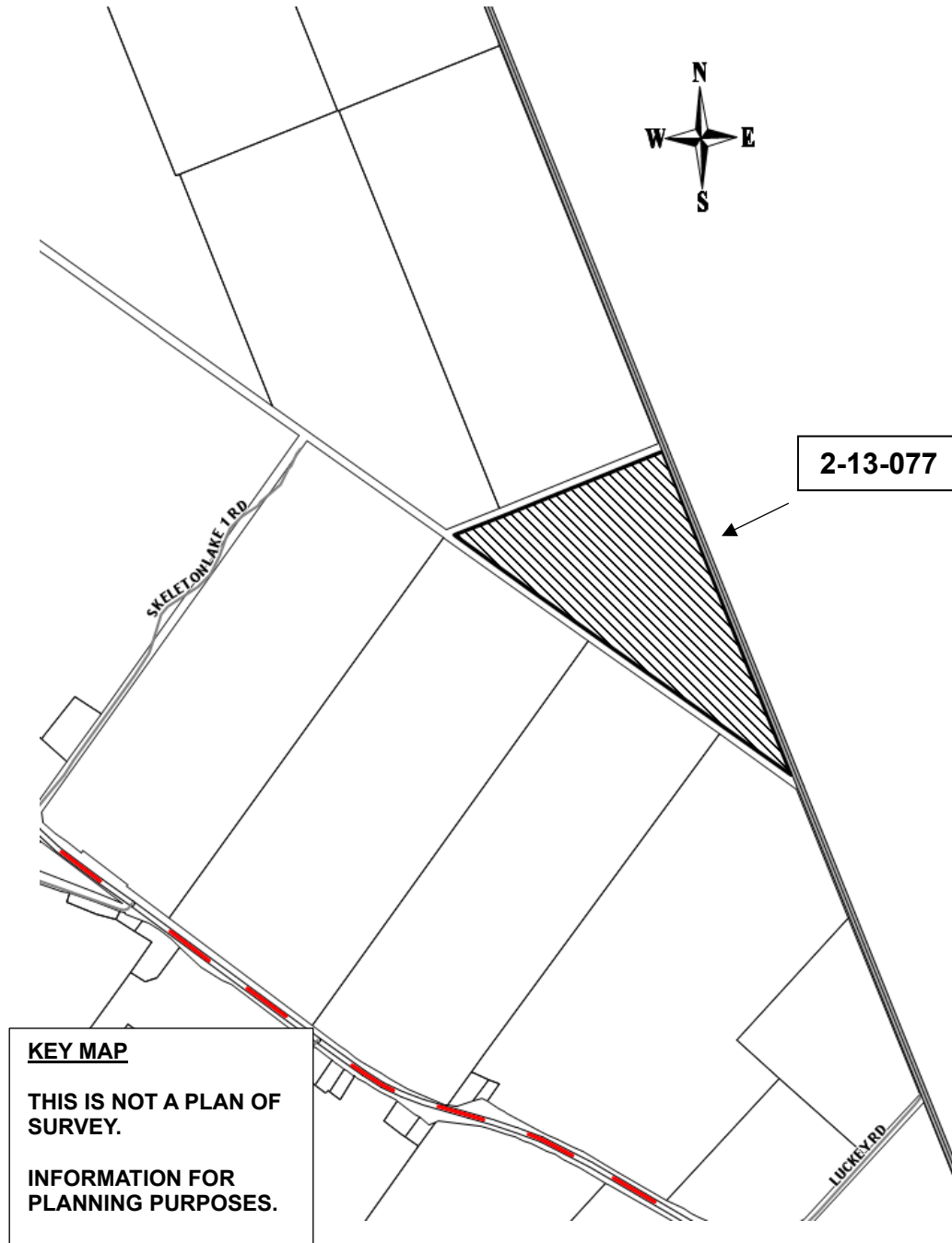
The applicants propose to construct a dwelling on as-built footings. The following is a summary of the requested variance:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	6.1.3	Minimum Front Yard Setback	50 ft.	35 ft.	15 ft.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



## KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**



## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes  
this 1<sup>st</sup> day of August, 2024.

Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)



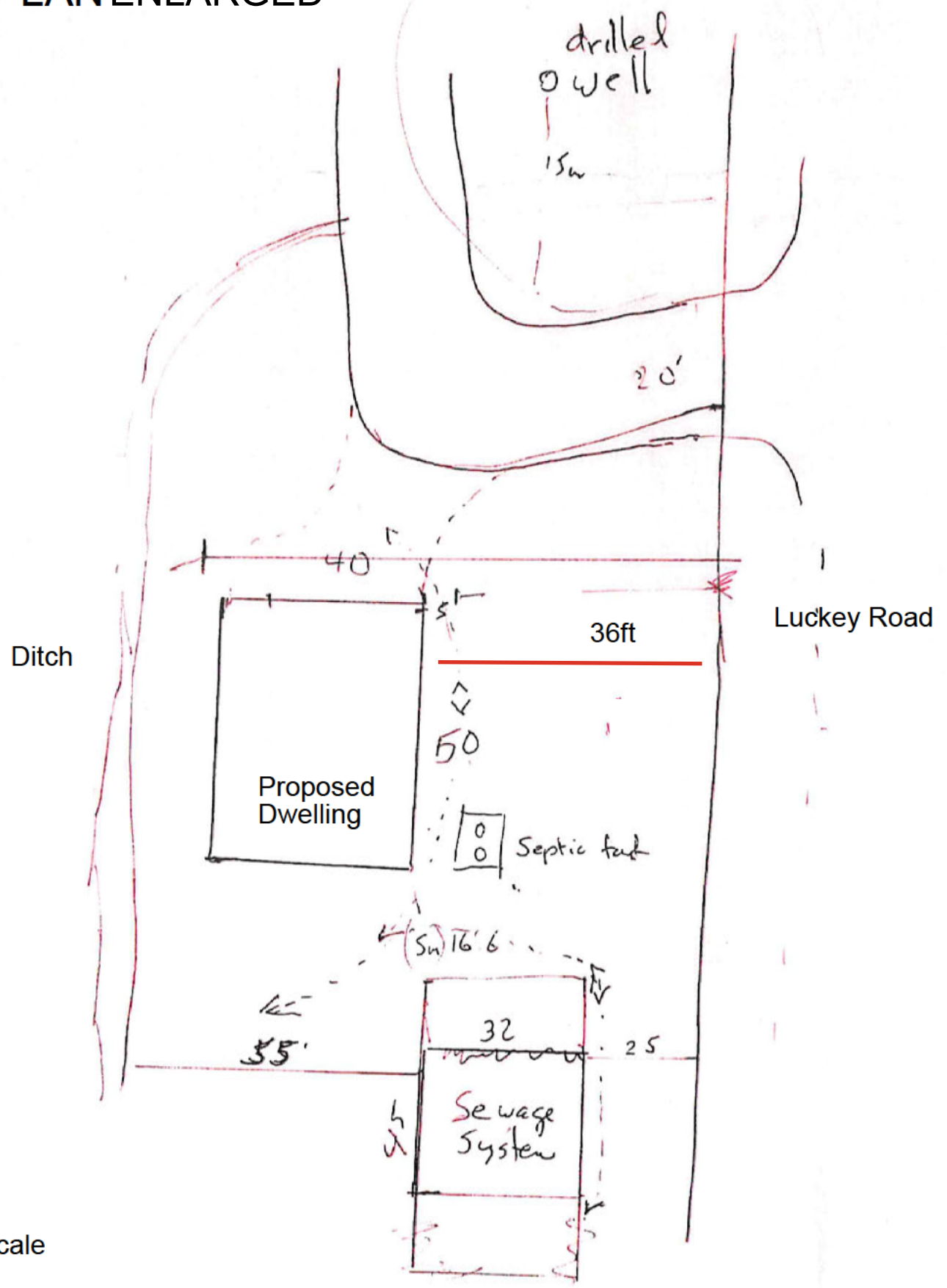
# SITE PLAN



NOT TO SCALE

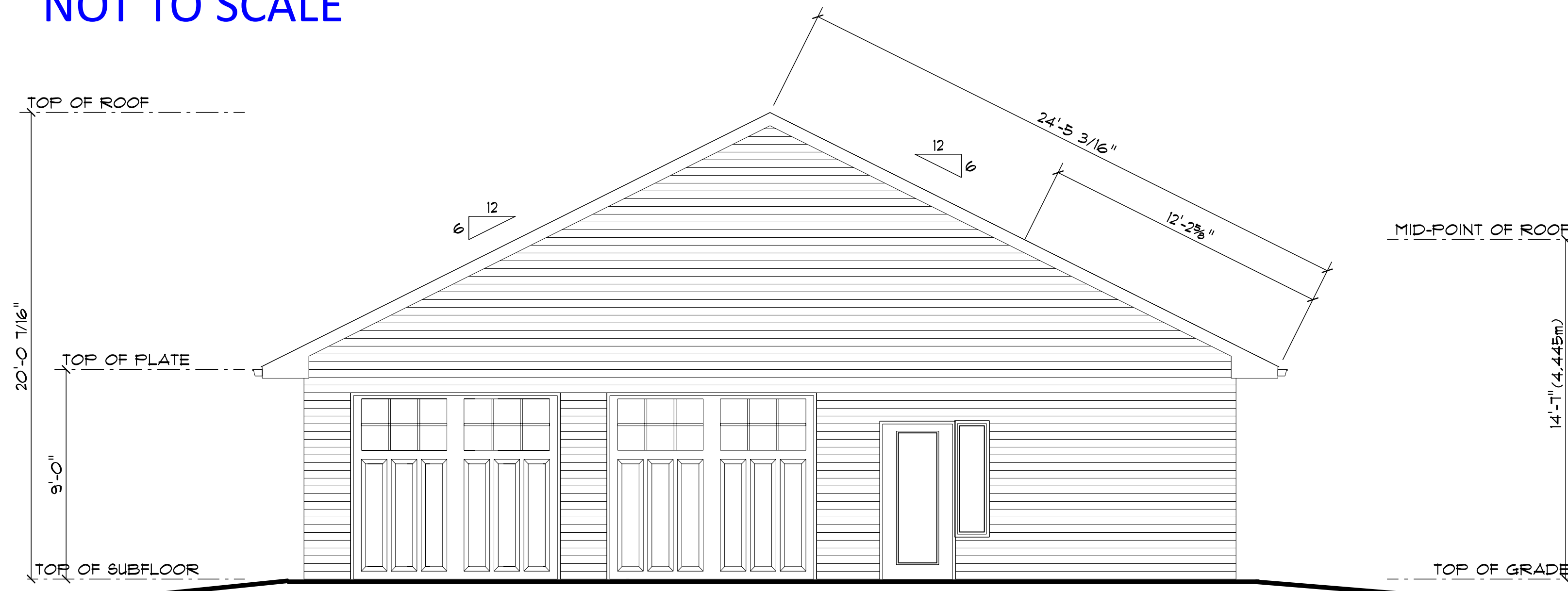
300 Luckey Rd Ufferson - Muskoka Lakes

# SITE PLAN ENLARGED

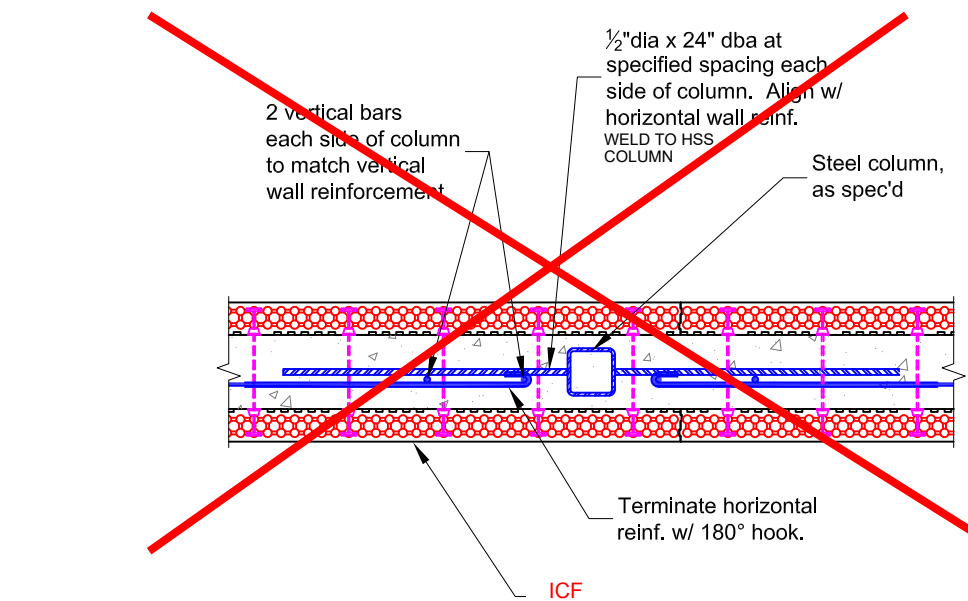


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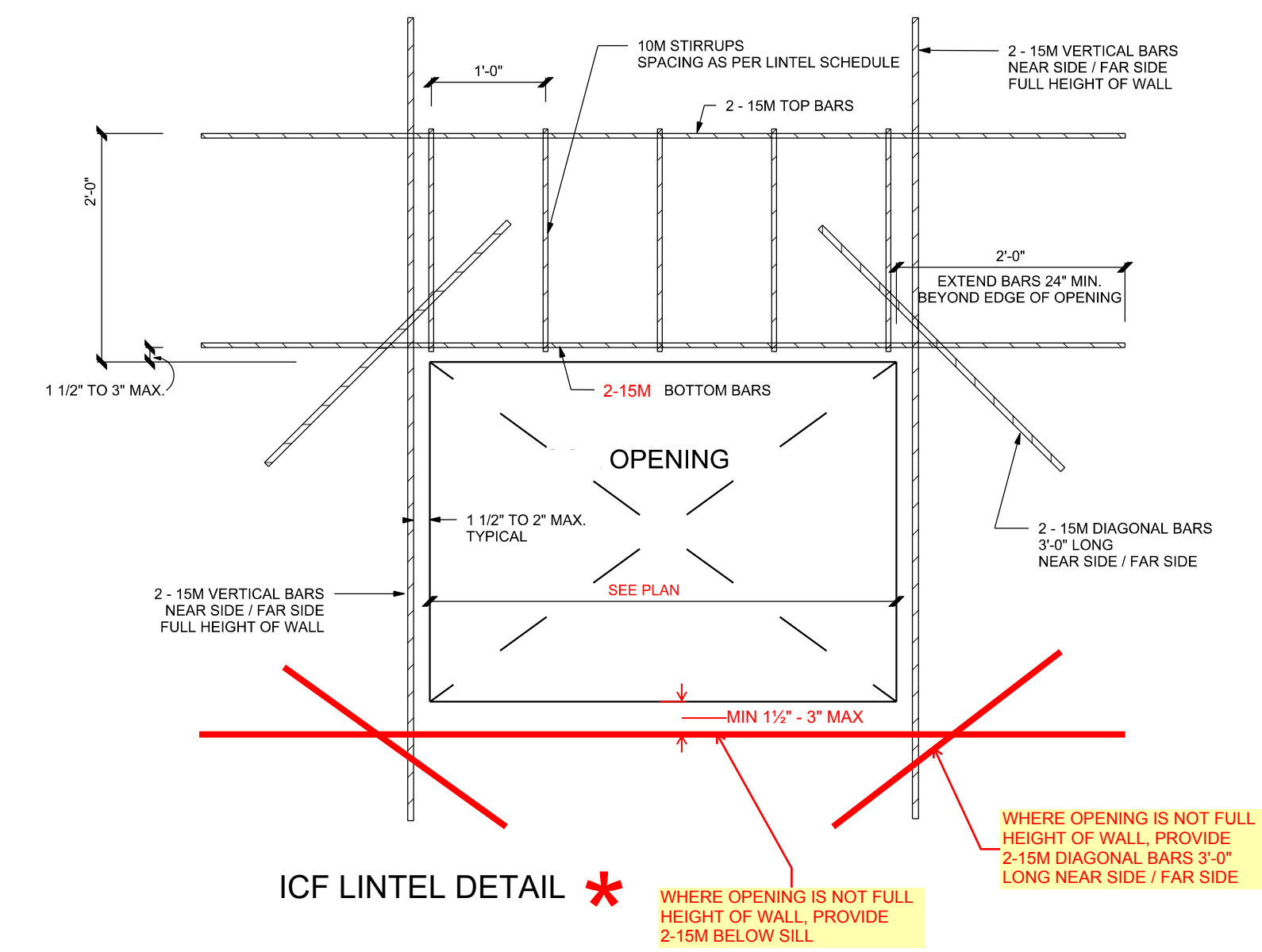
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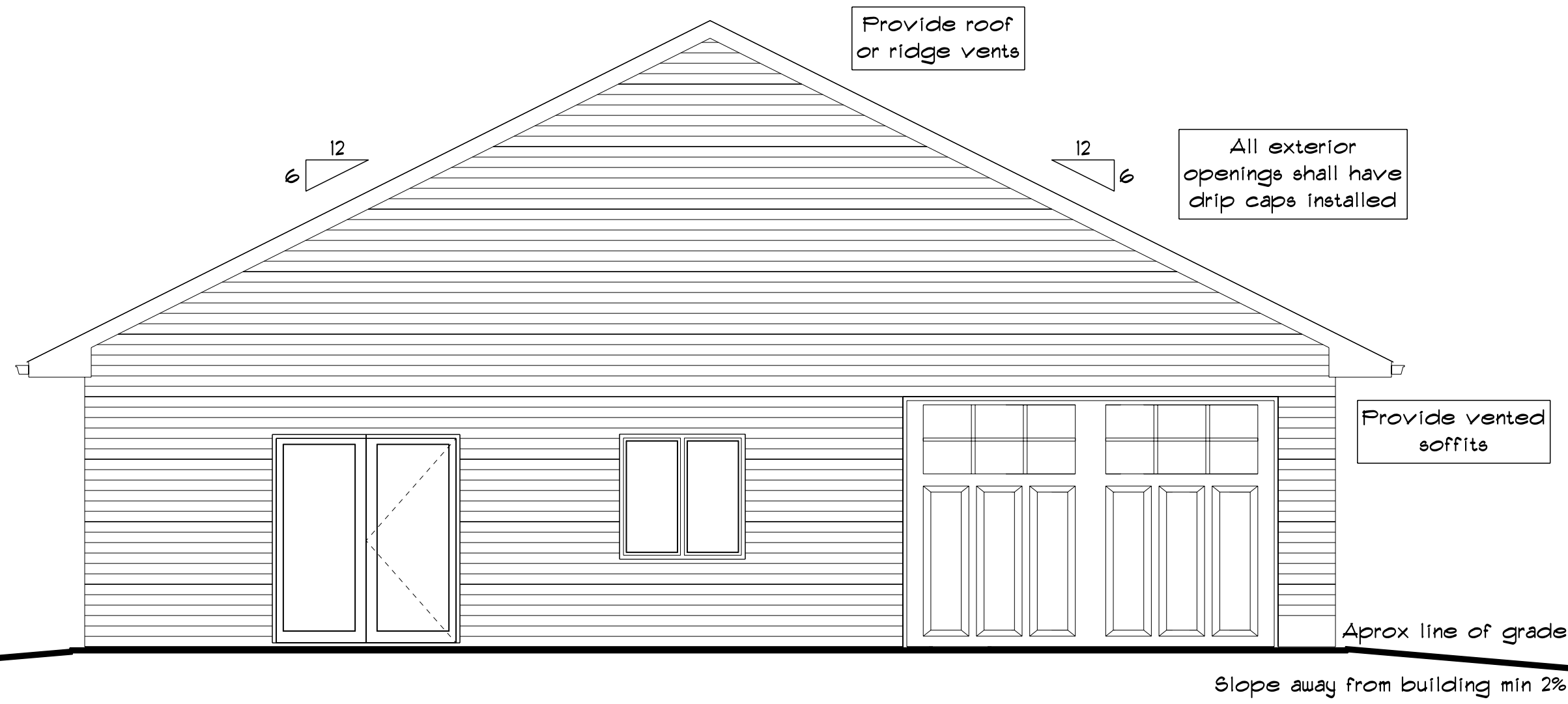
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**STEEL COLUMN EMBEDDED IN ICF DETAIL** \*



**ICF LINTEL DETAIL** \*

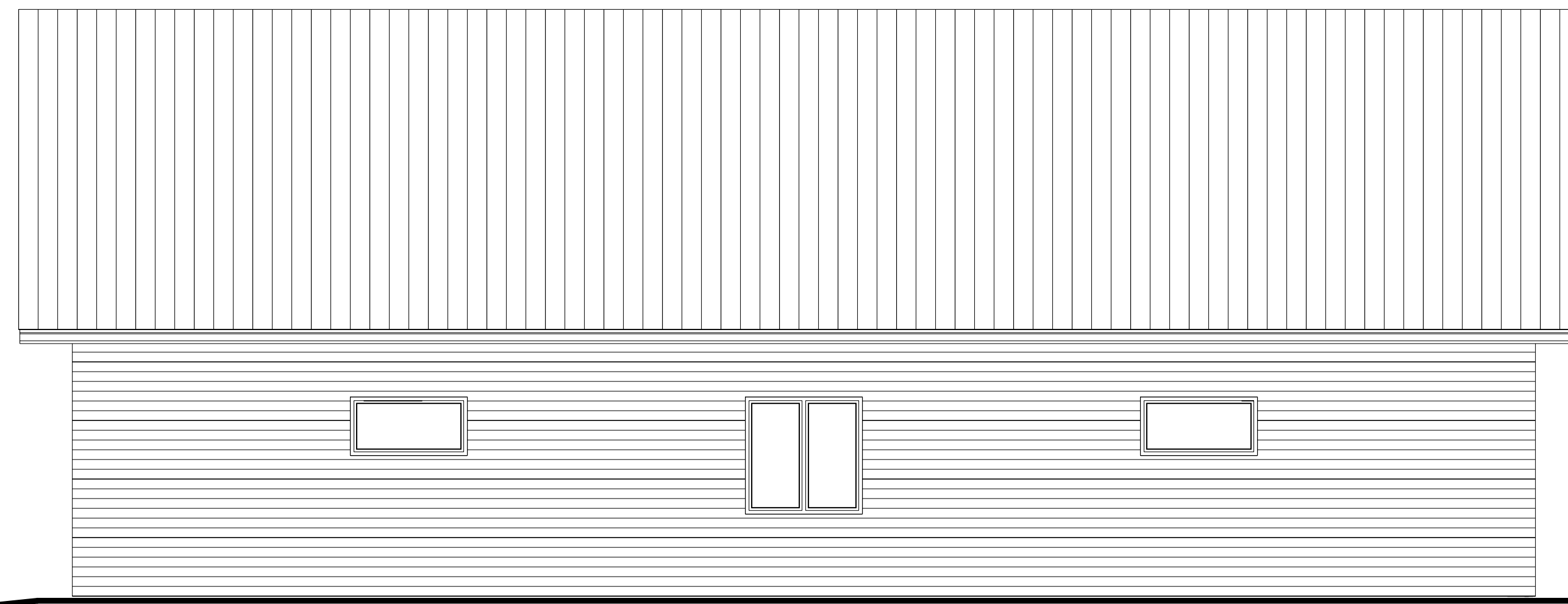


**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

FOR INFORMATIONAL PURPOSES ONLY



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



\* PROFESSIONAL ENGINEER CERTIFICATION OF NOTED STRUCTURAL ITEMS

JCBALDWIN & FRIENDS LTD. TAKES RESPONSIBILITY FOR ALL MARKUPS SHOWN IN YELLOW, AND NO LIABILITY FOR FOUNDATION OR OTHER ASPECTS OF THE DESIGN NOT REVIEWED AND MARKED FOR SUCH.



PBB

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2400 Kinnear S/R  
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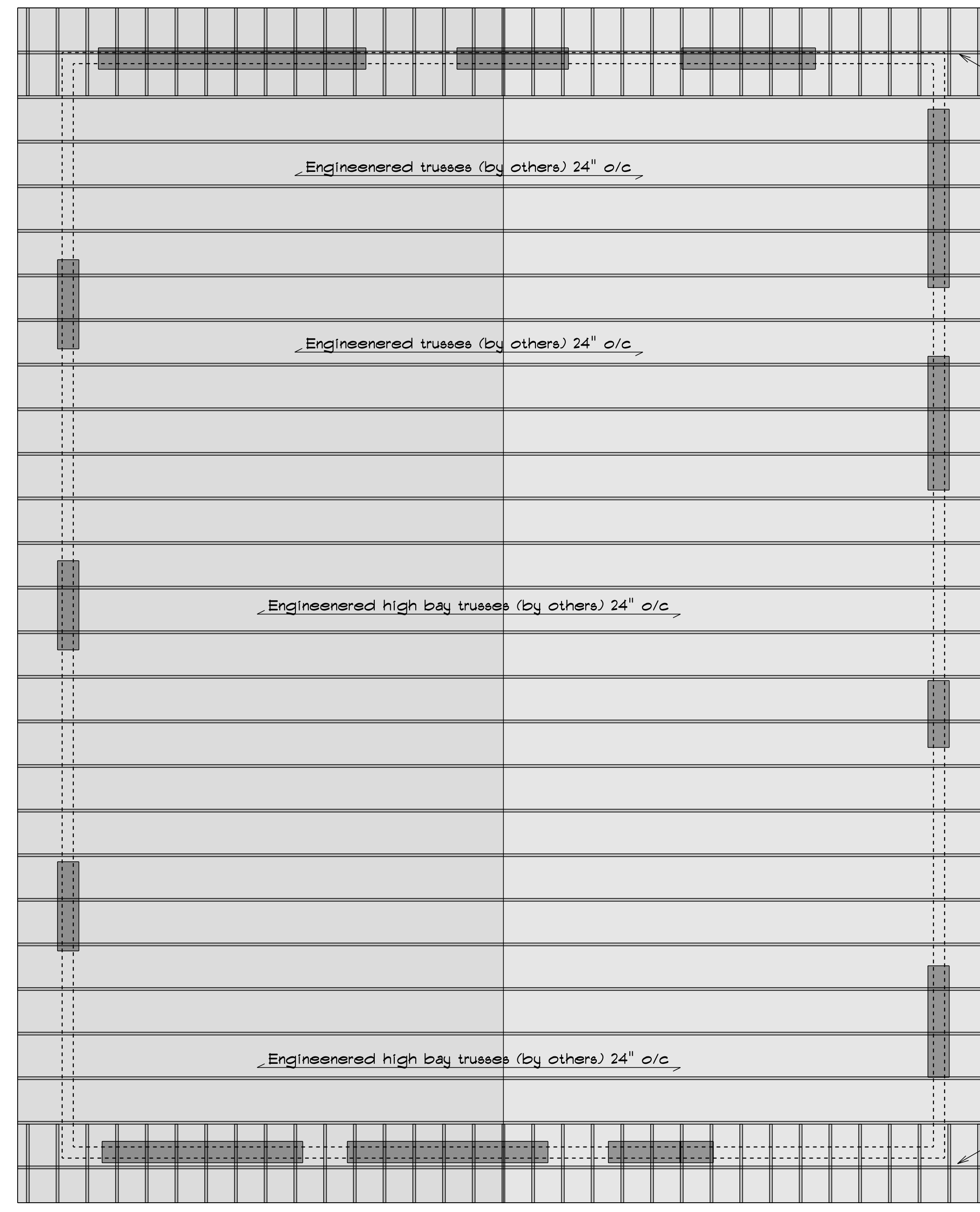
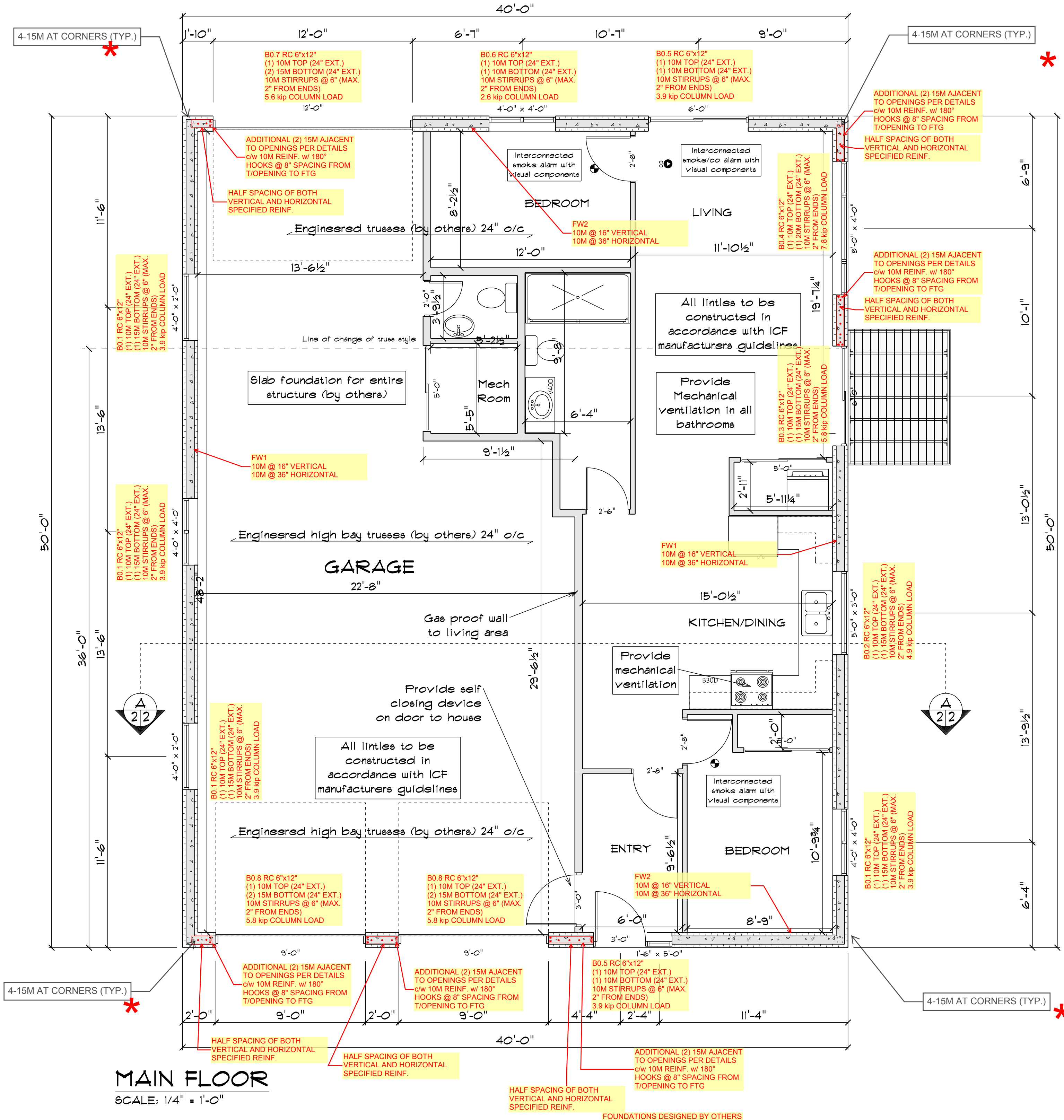
Date 14/09/2020  
Revised  
Drawing 1 of 2

1/4" = 1'-0"  
Drawn by KP  
Reviewed by KP

Micheal Ridgwell  
300 Luckey Rd  
Muskoka Lakes  
Township

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under 2.11.5.1. of the OBC  
NAME: Keshi Prentice  
REGISTRATION INFORMATION  
104106  
B.C.I.N.  
Required unless design is exempt under 2.11.5.1. of the OBC  
Plans By Prentice  
109354  
FIRM NAME: SIGNATURE

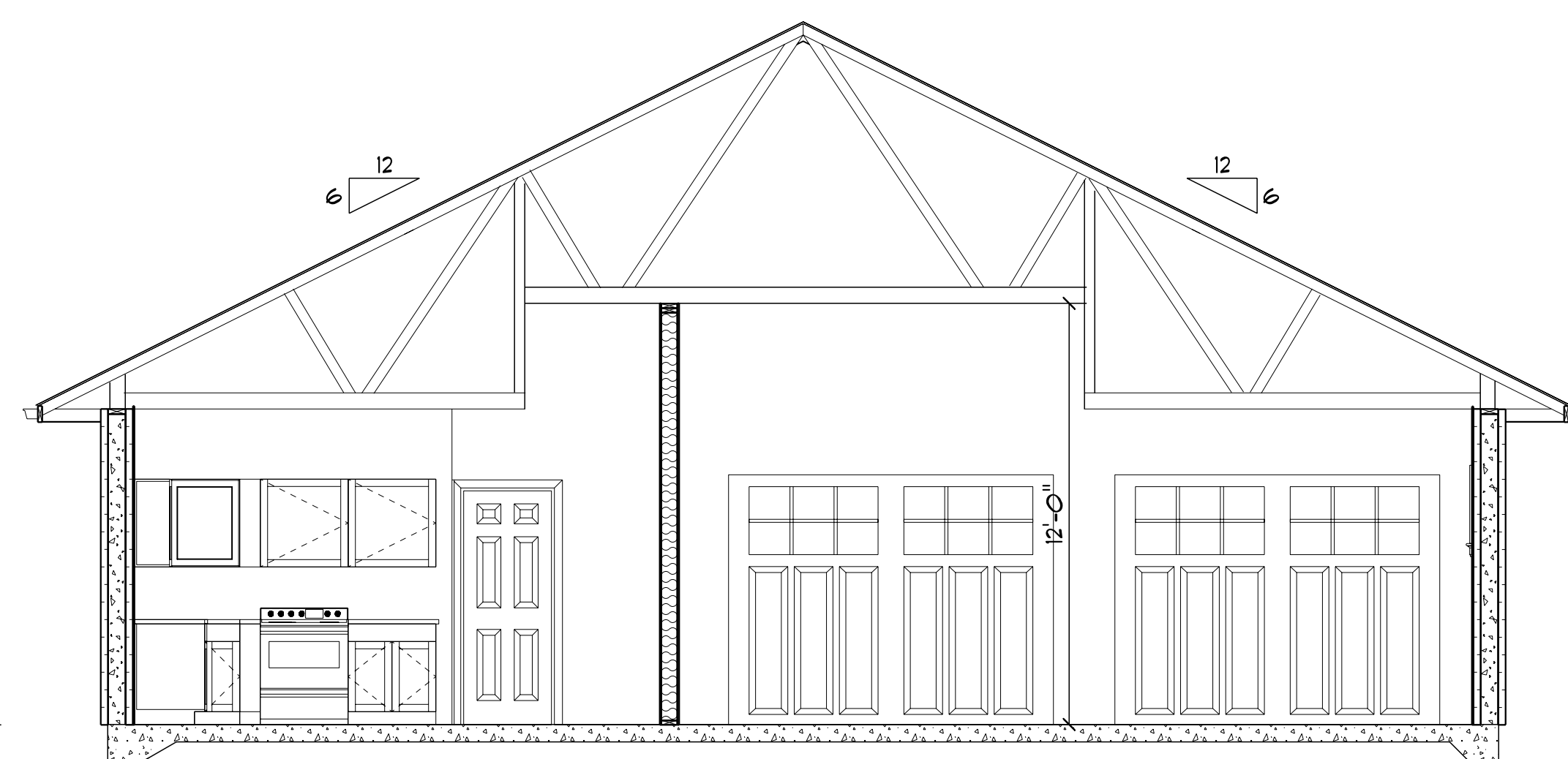
NOT TO SCALE



**NEW ROOF DETAIL**  
Steel roofing  
Strapping if required  
Roofing Underlayment  
Eave Protection min 4" inside wall plane  
Drip edge  
1/2" roof sheathing  
"H" clips where required  
Engineered trusses 24" o/c  
Moore vents  
Min R-60 insulation  
R-31 in sloped ceilings  
6 mil vapour barrier  
Resilient channel or 1"x3" strapping 16" o/c  
1/2" drywall

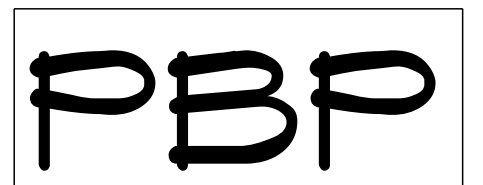
**WALL DETAIL**  
ICF wall  
Follow Manufactureres guideline for all construction  
Min 20 MFA concrete CW 3/8" DIAMETER MAXIMUM CRUSHED AGGREGATE  
Ft top plate  
Provide anchor bolts max 1'10" o/c  
Siding  
1/2" drywall  
Cover all exposed foam

**FOUNDATION DETAIL**  
Engineered slab (by others)  
On undisturbed soil



**NOTES:**  
1- 2-15M BARS IS TO BE INSTALLED COMPLETELY AROUND ALL SIDES OF OPENINGS  
2- HORIZONTAL BARS ABOVE AND BELOW THE OPENING SHALL EXTEND A MINIMUM OF 610MM (24") PAST OPENINGS  
3- VERTICAL BARS ON EACH SIDE OF THE OPENING SHALL EXTEND FULL HEIGHT OF THE WALL  
4- SPACING OF VERTICAL BARS IN WALL BETWEEN OPENINGS NOT ALLOWED BY MANUFACTURER TABLES SHOULD BE REDUCED TO 6" O.C.

JCBALDWIN & FRIENDS LTD. TAKES RESPONSIBILITY FOR ALL MARKUPS SHOWN IN YELLOW, AND NO LIABILITY FOR FOUNDATION OR OTHER ASPECTS OF THE DESIGN NOT REVIEWED AND MARKED FOR SUCH.



Plans By Prentice  
2400 Kinnear S/R  
Calwater, On.  
T05-4271-2212  
www.plansbyprentice.com  
wesdesign@plansbyprentice.com

Date 14/09/2020  
Revised  
Drawing 2 of 2

1/4" = 1'-0"  
Drawn by KP  
Reviewed by KP

Micheal Ridgwell  
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QUALIFICATION INFORMATION  
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NAME: Keshi Prentice  
REGISTRATION INFORMATION  
B.C.I.N.: 104106  
Required unless design is exempt under 2.11.5.1 of the OBC  
Plans By Prentice  
SIGNATURE: \_\_\_\_\_  
FIRM NAME: \_\_\_\_\_

FOR INFORMATIONAL PURPOSES ONLY