



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

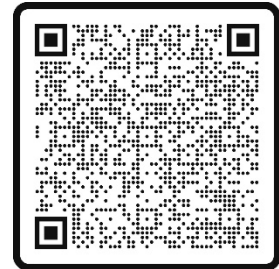
THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-43/24
Roll No.: 2-24-067

Owner:	Naomi Himel, 259 Dunvegan Road, Toronto, ON, M5P 2P5		
Address & Description:	1246 Purdy Road, Unit #2 Part of Lot 32, Concession 9, Parts 9 and 10, Plan 35R-11692, Parts 1 and 3, Plan 35R-23804, (Watt)		
Zoning:	Waterfront Residential (WR1-7)	Lake Rosseau (Category 1 Lake)	Schedule: 22
Hearing Date: Monday, July 8th 2024 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notice/> or scan the QR code.



Explanation of the Purpose and Effect:

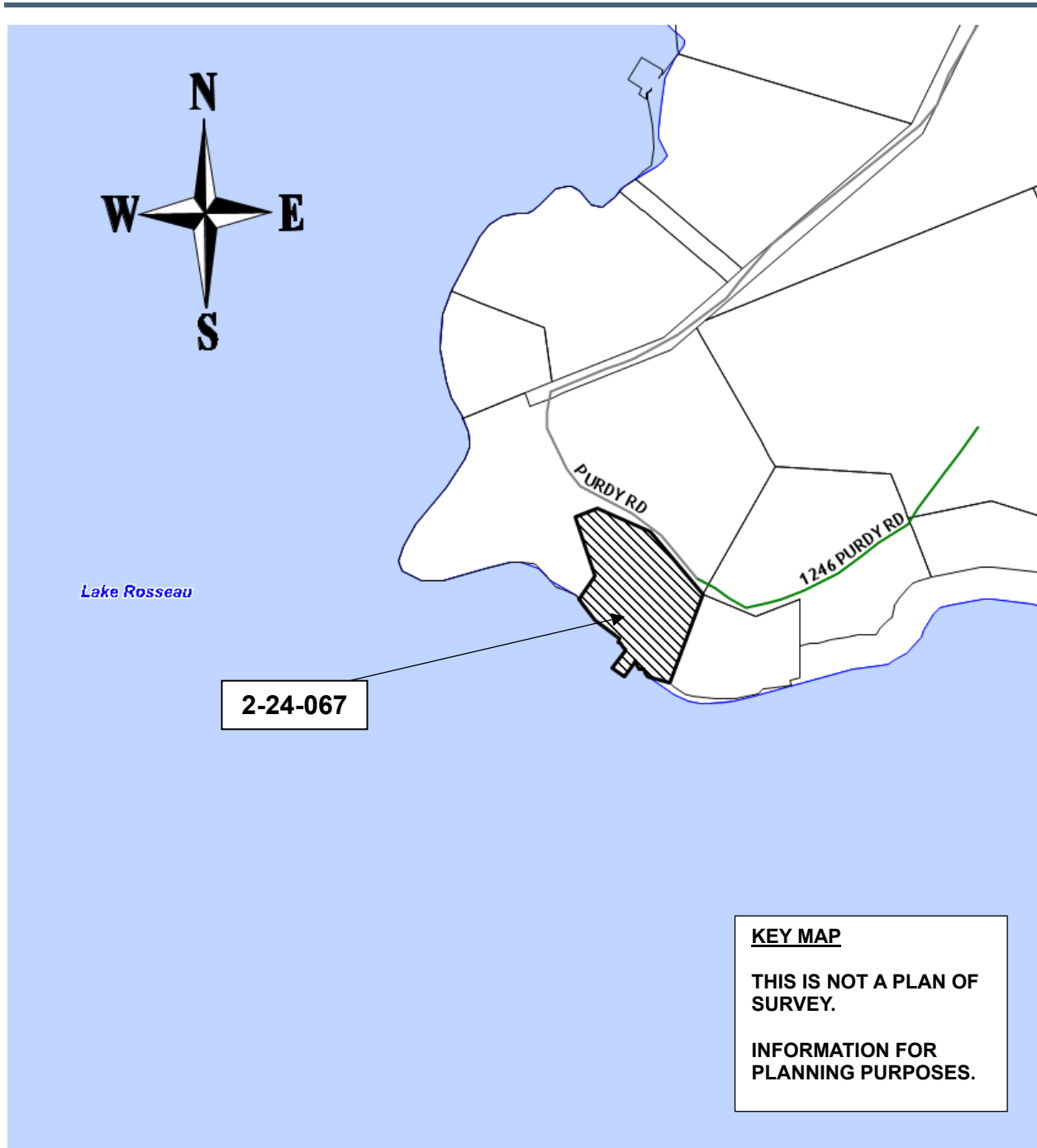
The applicant proposes to demolish two existing docks, and re-construct one of the docks at a greater length.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	Table 4.1.7 and 4.1.7.12 a.	Maximum Cumulative Dock Width	66.7 ft. (25%)	77 ft.	10.3 ft.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
This 26th day of June, 2024.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



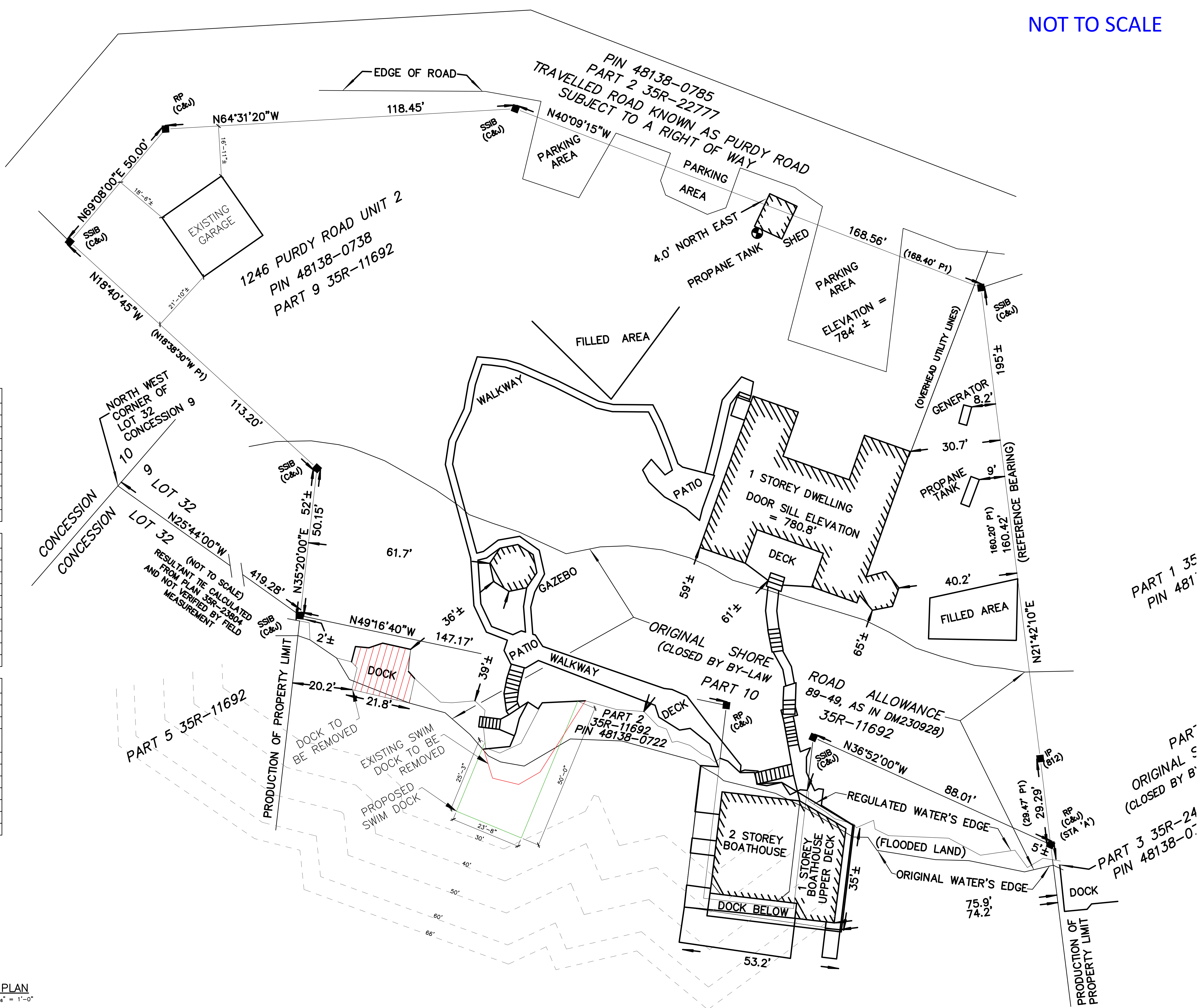
ZONING DETAILS	
ZONING	WR1-7
LOT AREA	51,775 ft ²
AREA WITHIN 200' OF HW MARK	51,775 ft ²
MAX. LOT COVERAGE	10%
MIN. FRONT YARD SETBACK	66'
MIN. INT. SIDE YARD SETBACK	15'
MIN. EXT. SIDE YARD SETBACK	30'
MIN. REAR YARD SETBACK	15'
MAX. HEIGHT	35'
MAX. HEIGHT ACCESSORY	25'

ZONING DETAILS STRUCTURES OVER WATER	
LAKE CLASS	CATEGORY 1
STRAIGHT LINE FRONTAGE	266'-9"
DOCKS	
MAX. LENGTH	66'
MAX. CUMULATIVE WIDTH	75'
MIN. SIDE YARD SETBACK	30'
BOATHOUSE	
MAX. LENGTH	50'
MAX. CUMULATIVE WIDTH	16%
HABITABLE FLOOR AREA	YES
MAX. SIZE 2ND STOREY	650H ²
LOCATION OF 2ND STOREY	MAX 35" FROM HIGH WATER MARK
MAX. HEIGHT	25'
MIN. SIDE YARD SETBACK (1 STOREY)	30'
MIN. SIDE YARD SETBACK (1 STOREY W SUNDECK)	45'

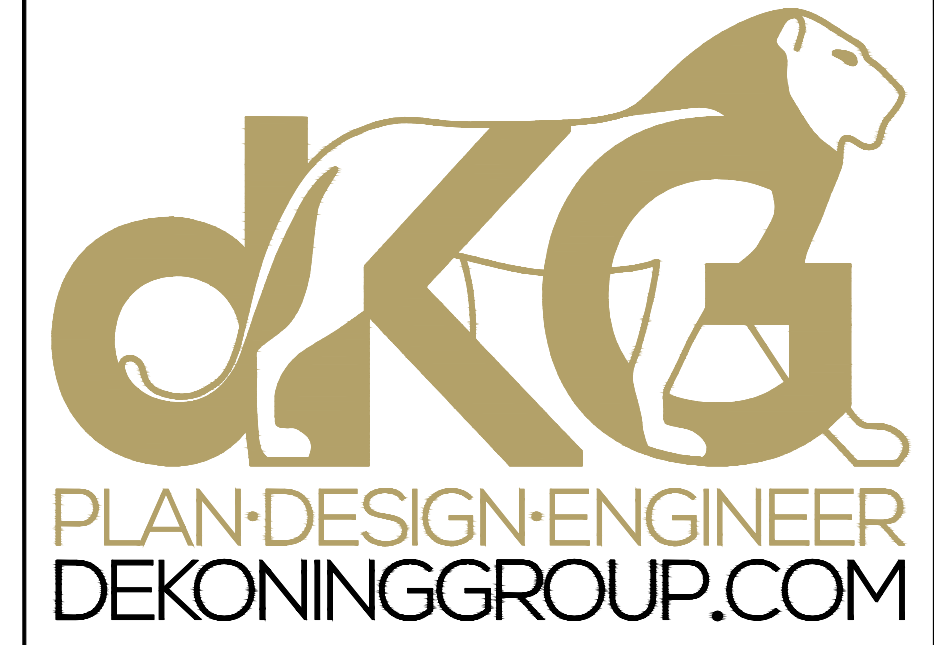
EXISTING LOT FRONTAGE STATISTICS		
DEFINITION	CUMULATIVE WIDTH	% COVERAGE
STRAIGHT LINE FRONTAGE	266'-9"	-
EXISTING DOCK	21.8'	8.16%
EXISTING SWIM DOCK	26'	9.74%
EXISTING BOATHOUSE DOCK	53.2'	19.9%
EXISTING DOCK TOTAL	101'	37.8%
EXISTING BOATHOUSE	42'-11"	15.77%

PROPOSED LOT FRONTAGE STATISTICS		
DEFINITION	CUMULATIVE WIDTH	% COVERAGE
STRAIGHT LINE FRONTAGE	266'-9"	-
PROPOSED SWIM DOCK	23.8'	8.91%
EXISTING BOATHOUSE DOCK	53.2'	19.93%
EXISTING DOCK TOTAL	77'	28.84%
EXISTING BOATHOUSE	42'-11"	15.77%

EXISTING LOT AREA STATS		
DEFINITION	AREA (H ²)	% COVERAGE
TOTAL LOT AREA	51,775	-
AREA WITHIN 200' OF HW MARK	51,775	-
EXISTING STRUCTURES		
DWELLING	2,506	4.8%
BOATHOUSE	1,487	2.9%
SHED	124	0.2%
GAZEBO	185	0.4%
GARAGE	600	1.2%
EXISTING TOTAL	4,902	9.5%



NOT TO SCALE



705.640.3800
 INFO@DEKONINGGROUP.COM
 3 ARMSTRONG POINT ROAD
 PORT CARLING, ONTARIO
 POB 1J0

PROFESSIONAL ENGINEER
 BCIN REGISTRATION INFORMATION
 DE KONING GROUP INC. 124300
 FIRM NAME FIRM BCIN
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE.

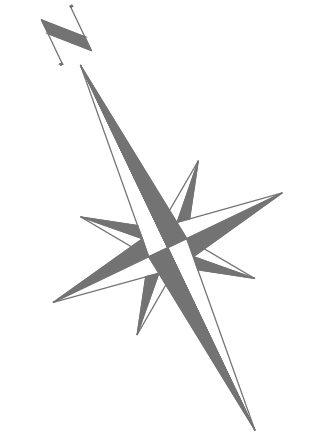
No.	Revision/Issue Column	Date
3	ISSUED FOR MINOR VARIANCE	JUN 06 2024
2	ISSUED FOR MINOR VARIANCE	APR 10 2024
1	ISSUED FOR REVIEW	FEB 21 2024

CLIENT
 MUSKOKA STEEL DOCKS

PROJECT
 HIMEL SWIM DOCK
 2-1246 PURDY ROAD
 TOWNSHIP OF MUSKOKA LAKES

DRAWING
 SITE PLAN

DATE	FEB 2024
PROJECT	24-34-04
DESIGNED	HG
REVIEWED	N&K
SCALE	AS SHOWN
SHEET	SP1



SITE PLAN
 SCALE: 1/8" = 1'-0"