



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

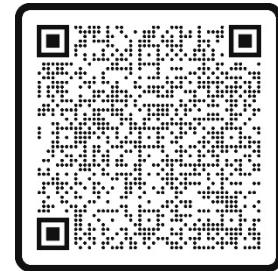
To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-42/24

Roll No.: 8-1-009

Owner:	Paul Hooey, c/o 420 Deerhurst Drive, Unit #3, Brampton, ON, L6T 5H9		
Address & Description:	1254 Barlochan Road, Unit 20 Part of Lot 10, Concession 1, Parts 2 and 3, Plan 35R-15316, (Wood)		
Zoning:	Waterfront Residential (WR6)	Lake Muskoka (Category 1 Lake)	Schedule: 43
Hearing Date: Monday, July, 8th, 2024 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

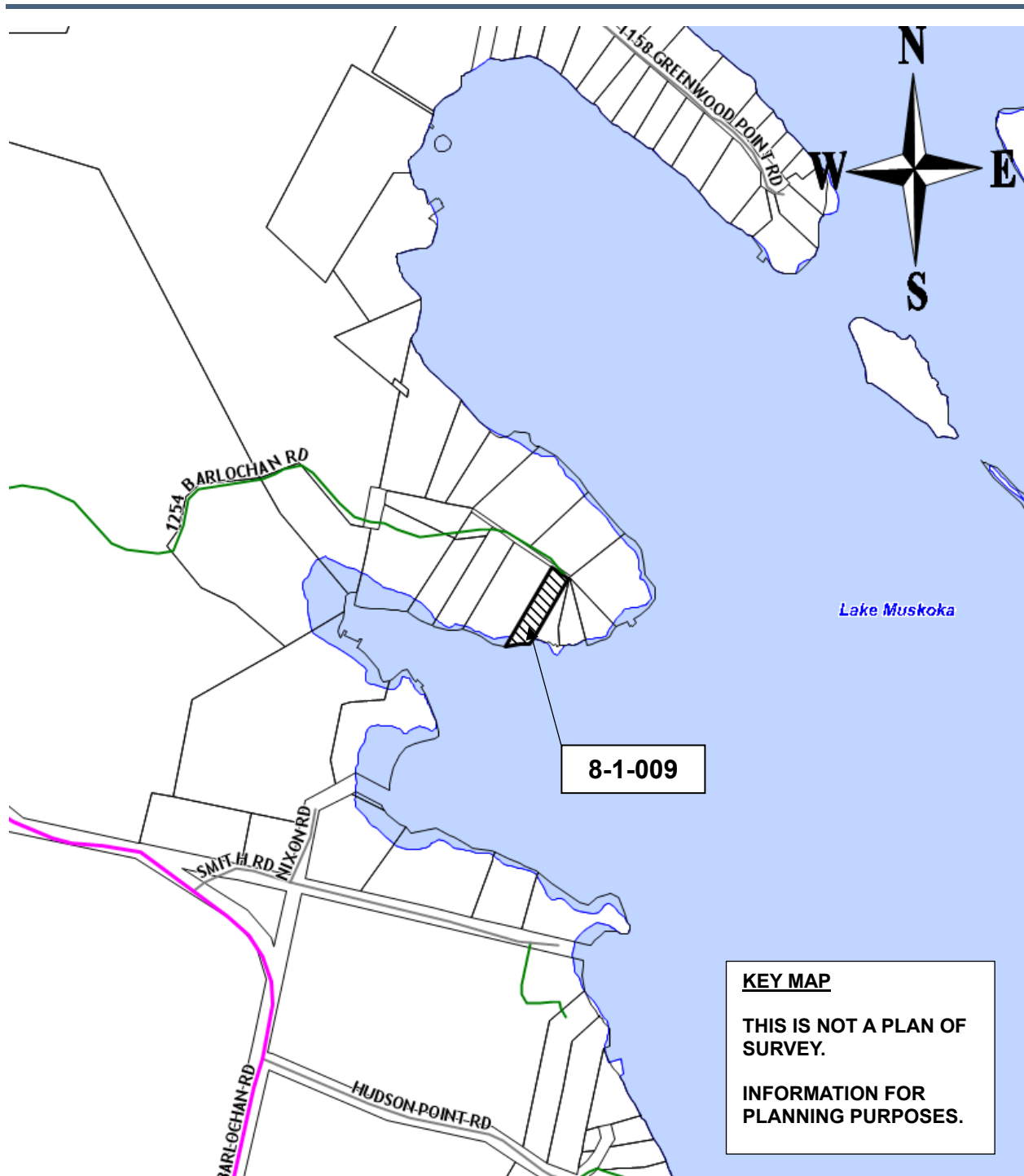
The applicant proposes to increase the floor area of an existing dwelling through the construction of a basement.

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.3.5	Front Yard Setback (Dwelling)	50 ft.	26ft.	24 ft.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 25th day of June, 2024.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



SITE PLAN - EXISTING



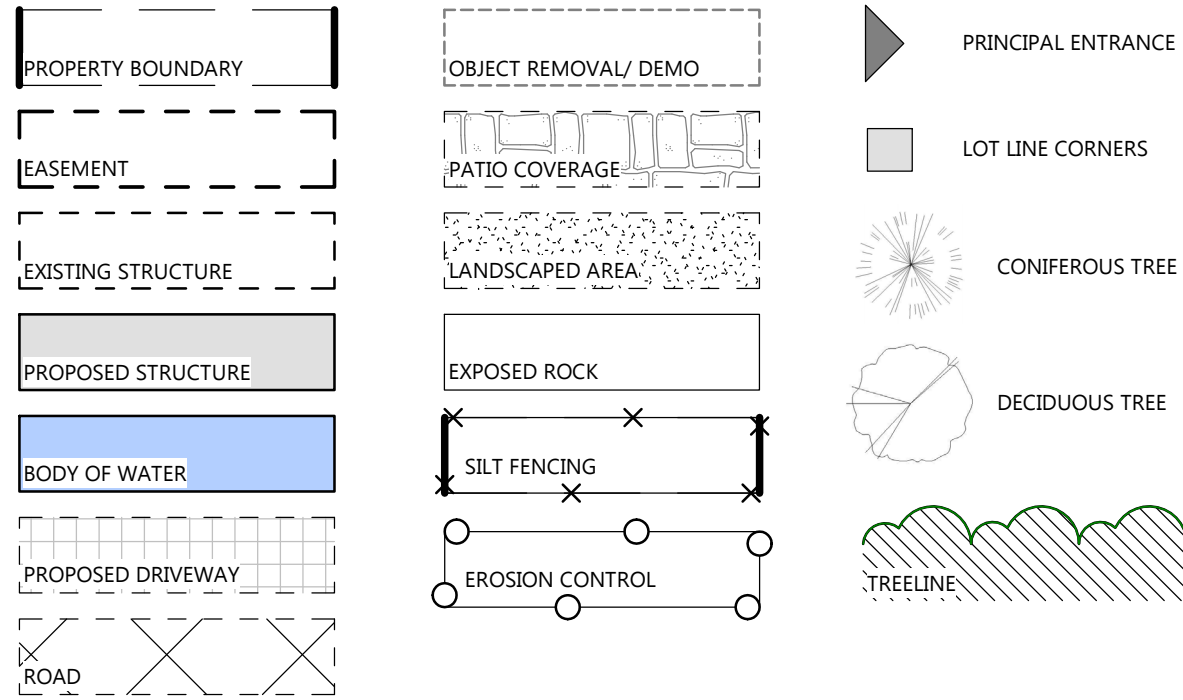
RDH design
 PHONE: 289-200-3880
 ron@rdhdesign.com
 www.RDHdesign.com

REFER TO DRAWING W02 FOR GENERAL NOTES, SCHEDULES AND RELATED APPLICABLE ITEMS

ALL DIMENSIONS IN BRACKETS ARE IN MILLIMETERS

EXISTING SITE PLAN
20-1254 BARLOCHAN RD
MUSKOKA LAKES, ON
Version 6

SITE PLAN LEGEND

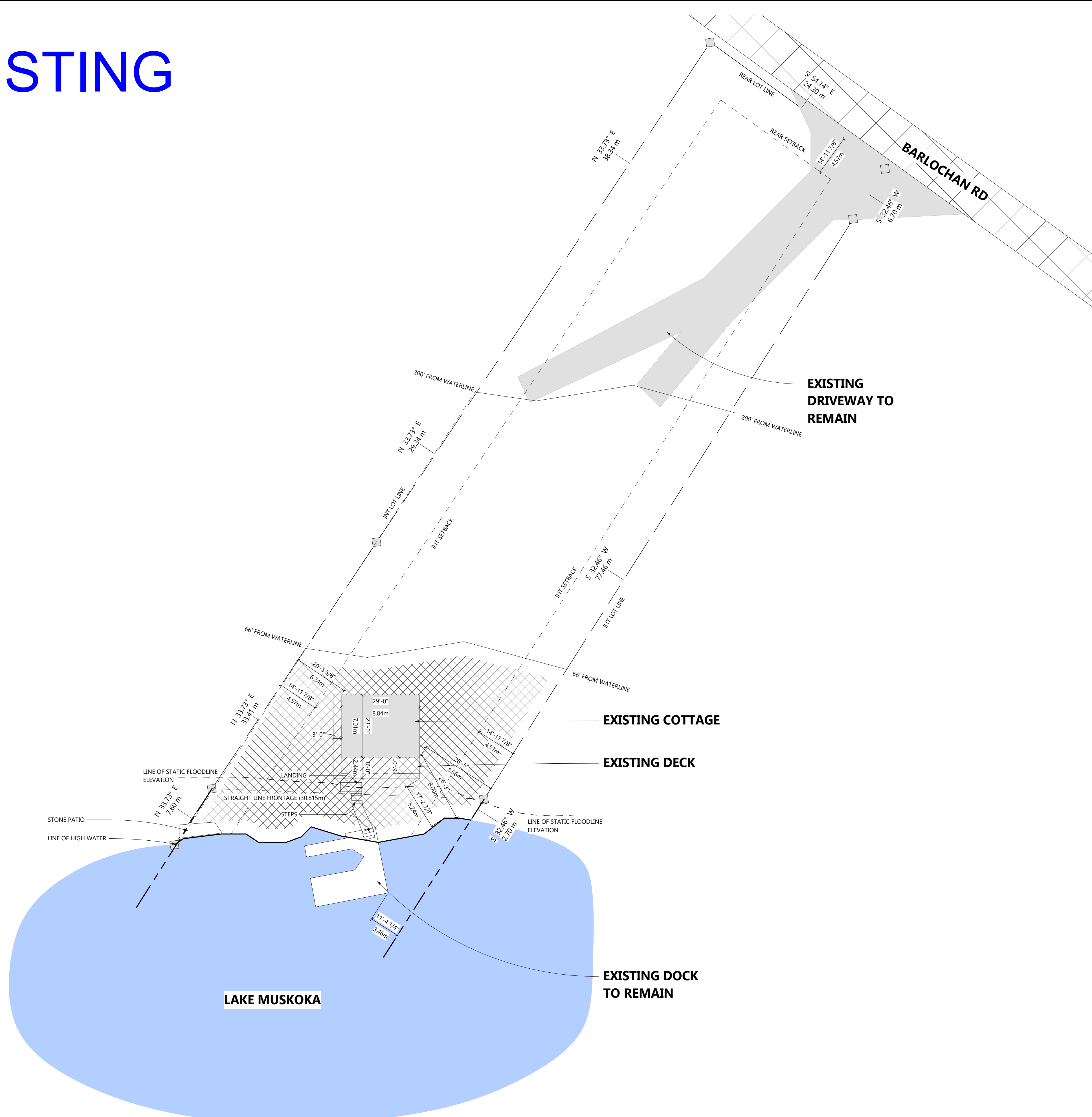


SITE STATISTICS

TOTAL LOT AREA = 26,782 SQ.FT.
 EXISTING BUILDING FOOTPRINT = 667 SQ.FT.
 EXISTING DOCK FOOTPRINT = 550 SQ.FT.
 EXISTING LOT COVERAGE = 4.1% OR 1217 SQ.FT.
 PROPOSED COVERAGE: MAX COVERAGE 10% OR 2,678.2 SQ.FT.
 EXISTING TO REMAIN = 1217 SQ.FT.
 PROPOSED COVERED PATIO = 0 SQ.FT.
 TOTAL = 4.1% OR 1217 SQ.FT.
 REMAINING COVERAGE = 1763.7 SQ.FT.
 DRIP THROUGH DECK COVERAGE = 371 SQ.FT.
 200' FOOT HIGH WATER MARK AREA = 16,380 SQ.FT.

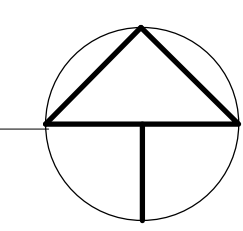
ZONING INFO

ZONING = WR6 - STEEP SLOPES AND/OR NARROW WATERBODY SETBACKS:
 FRONT = 66' (20.1m)
 INT SIDE = 15' (4.6m)
 EXT SIDE = 30' (9.1m)
 REAR YARD = 15' (4.6m)
 MAX HEIGHTS:
 MAIN DWELLING = 35' (10.7m)
 ACCESSORY = 25' (7.7m)



NOT TO SCALE

1 Site Plan - Existing
 1" = 20'-0"



STAMP

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS AS A DESIGNER AS SET OUT IN THE ONTARIO BUILDING CODE (AS AMENDED TO DATE)

Qualification Information

R. Haron 44944
 SIGNATURE BCIN

RDH design 118062
 FIRM BCIN

23029

DRAWN BY: RDH
 DATE: 01/19/24
 CHKD BY: JLD
 PLOT DATE: NOV, 2023

A0-3

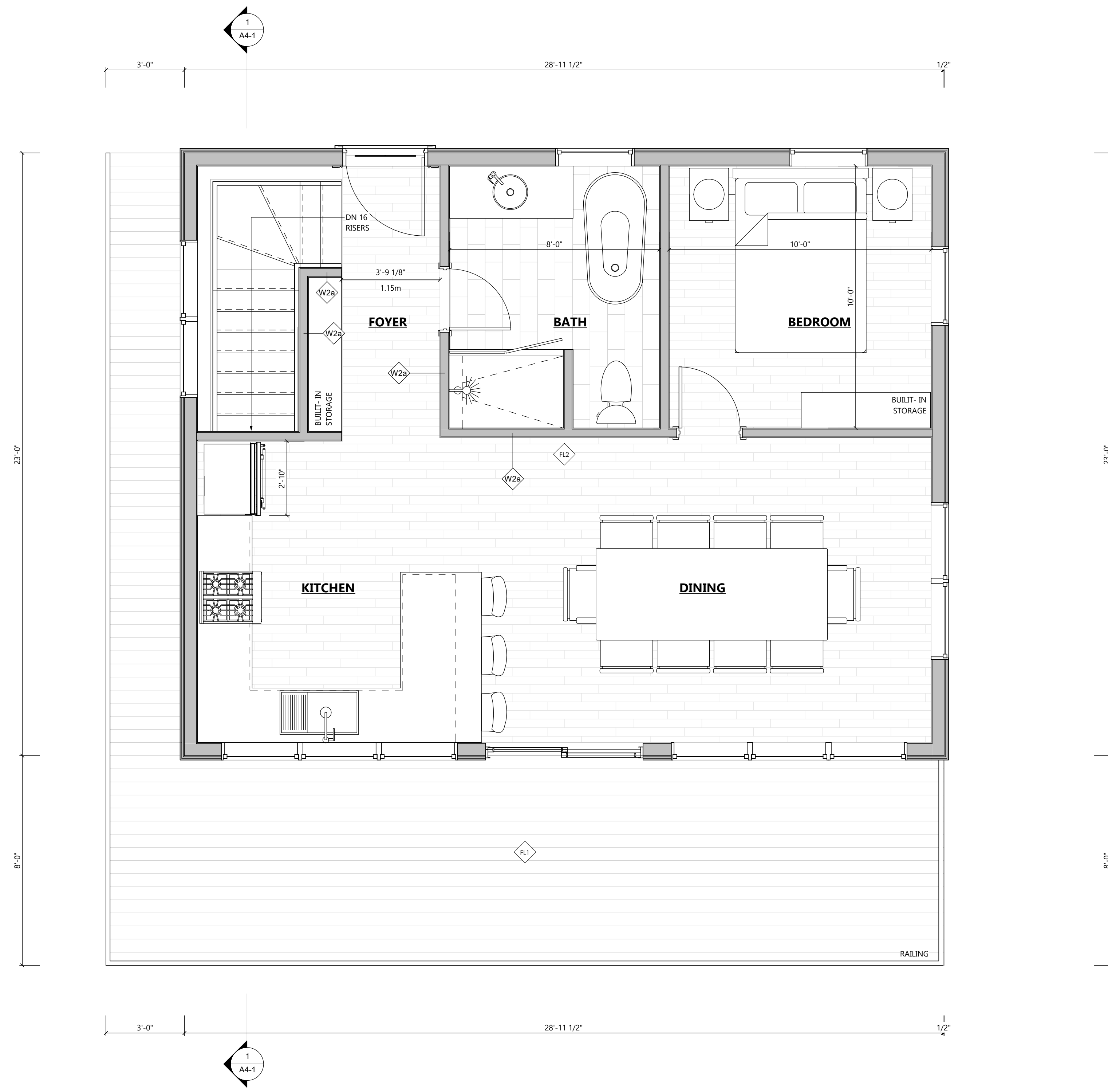


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MAIN FLOOR PLAN
20-1254 BARLOCHAN RD
MUSKOKA LAKES, ON
Version 6



FLOOR ASSEMBLIES

- ◆ FL1 **EXTERIOR DRIP THROUGH DECK**
 - 2x6 CEDER OR P1 DECKING W/ 1/4" SPACING
 - DECK JOIST FLASHING
 - DECK JOIST SEE STRUCTURAL PLAN FOR SIZING AND LAYOUT
- ◆ FL2 **INTERIOR FRAME FLOOR**
 - FLOORING TBD
 - 5/8" T&G PLYWOOD - GLUED AND SCREWED
 - FLOOR FRAMING (REFER TO STRUCTURAL)
 - (OPTIONAL) ROCKWOOL SAFE & SOUND INSULATION
 - REFER TO RCP FOR CEILING FINISHES

WALL SCHEDULE

TAG	NAME	Comments
W2a	2x4 Partition Wall	<ul style="list-style-type: none"> • 1/2" GYPSUM WALL BOARD • 2x4 SPF No. 1/No.2 FRAMED WALL @ 16" O.C. • 1/2" GYPSUM WALL BOARD

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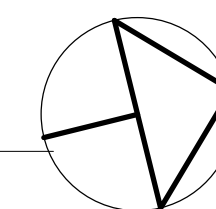
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 FIRM BCIN

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DRAWN BY: RDH
 DATE: 11.30.2023
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 PLOT DATE: NOV, 2023

NOT TO SCALE

1 MAIN LEVEL PLAN
 3/8" = 1'-0"



A1-2

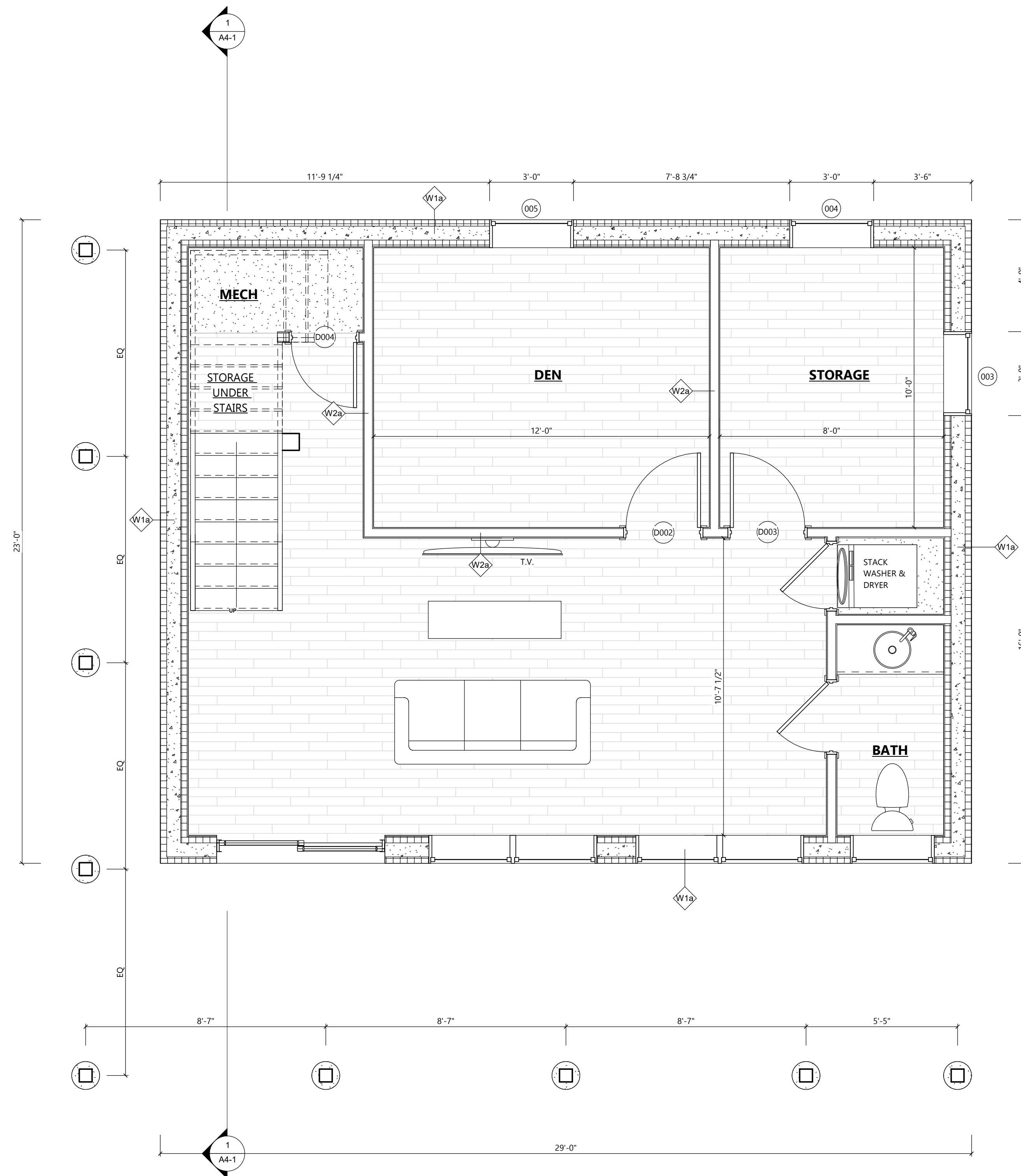


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BASEMENT PLAN
20-1254 BARLOCHAN RD
MUSKOKA LAKES, ON
Version 6



WALL SCHEDULE - INT

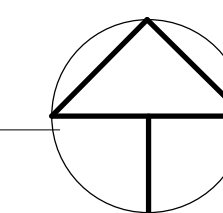
TAG	NAME	Comments
<variables>	2x4 Partition Wall	<ul style="list-style-type: none"> • 1/2" GYPSUM WALL BOARD • 2x4 SPF No. 1/No.2 FRAMED WALL @ 16" O.C. • 1/2" GYPSUM WALL BOARD
	Exterior - 2x6 Wall Uninsulated	<ul style="list-style-type: none"> • VENTED SOFFIT (TBD BETWEEN CONTRACTOR & OWNER) • 2x6 SPF No. 1/No.2 FRAMED WALL @ 16" O.C. • 1/2" EXTERIOR GRADE PLYWOOD SHEATHING • AIR BARRIER MEMBRANE • 1X4 VERTICAL STRAPPING @ 16" O.C. • METAL DRIP EDGE FLASHING INCORPORATED UNDER SHEATHING • 1X6 VERTICAL SIDING • (FINAL SPEC., STAIN/FINISH TBD BETWEEN CONTRACTOR & OWNER)

FOUNDATION WALL SCHEDULE

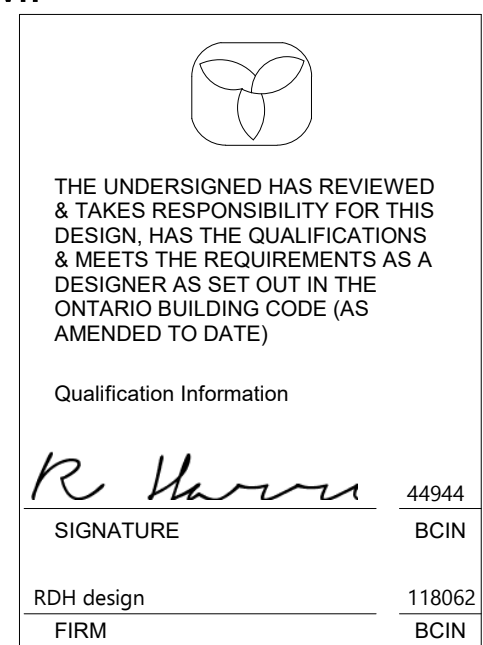
Tag	Width	Comments	Length
		DELTA® MS DRAINAGE MEMBRANE LAYER	
		6" ICF WALL	
		ENSURE FULL TAPERTOP FORM FULL COURSE AT TOP (MIN. 25 MPa @ 28 DAYS)	
W1a	6" ICF 2	w/ 15M (#5) VERTICAL REBAR @ 12" O.C. LAPPED INTO STRIP FOOTING BELOW (HOOKED DOWEL TO BE PLACED ALTERNATING BETWEEN EXTERIOR & INTERIOR OF FOOTING)	100' - 0"
		1/2" WALL PROTECTION BOARD	

100' - 0"

1 TOP OF SLAB
 3/8" = 1'-0"



STAMP



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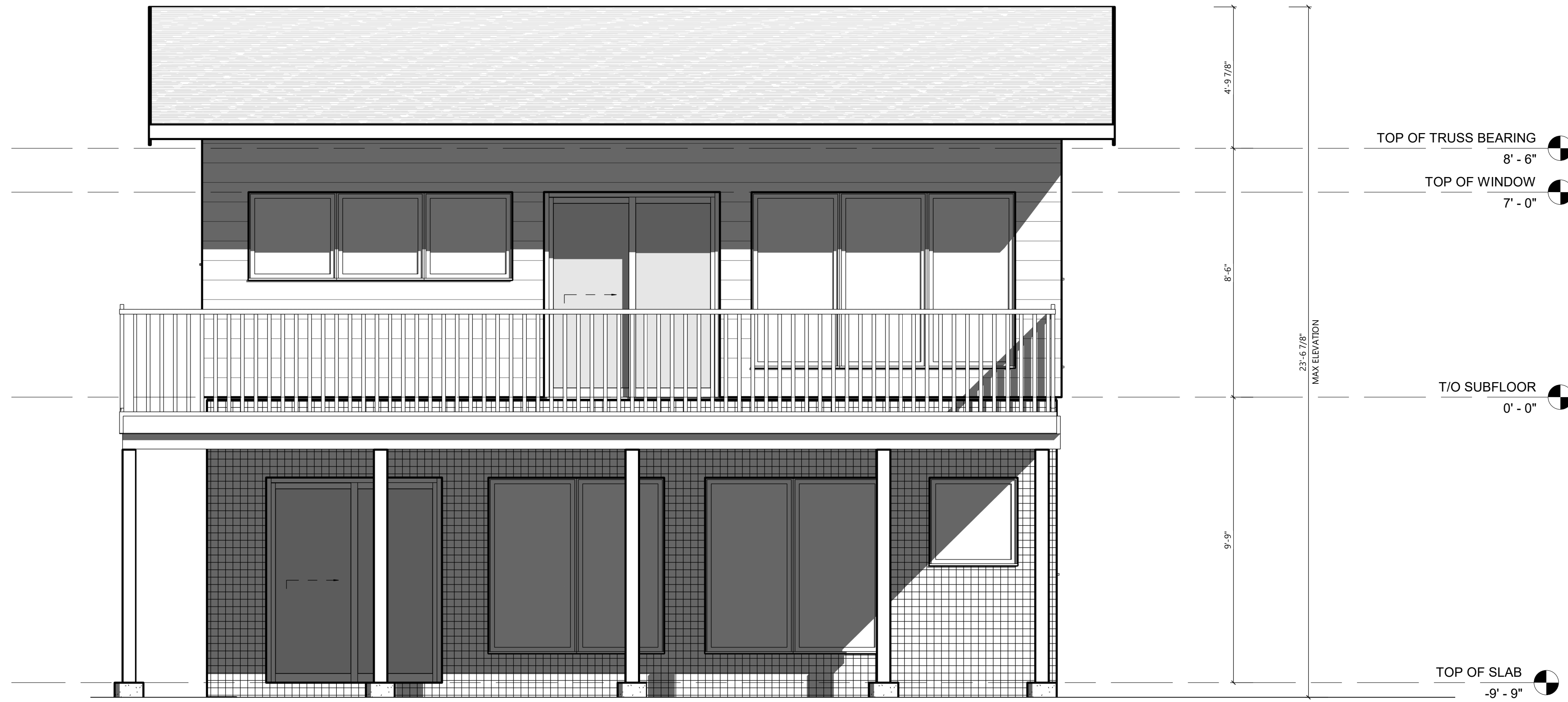
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 CHKD BY: JLD
 PLOT DATE: NOV, 2023



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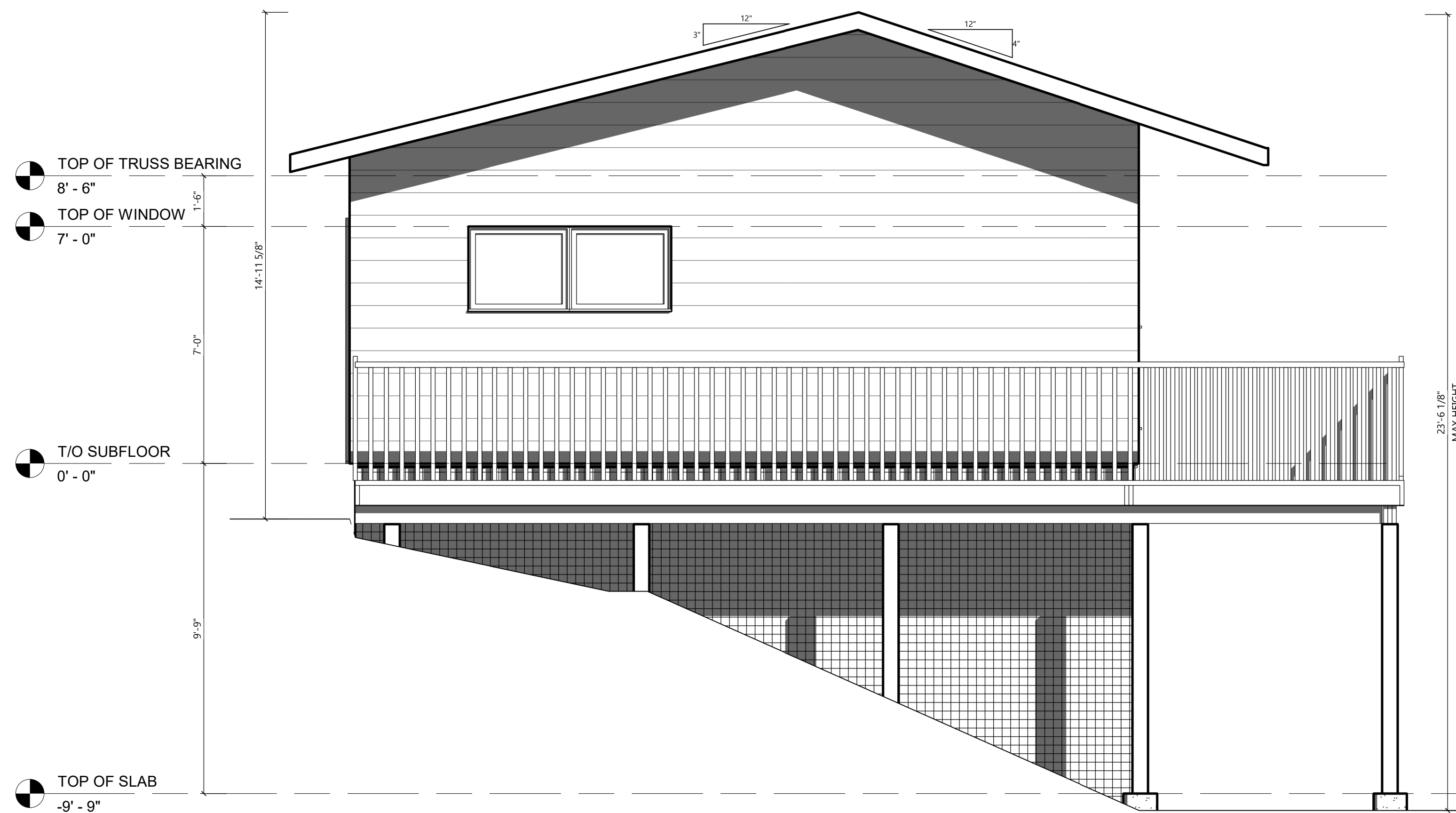
ALL DIMENSIONS IN BRACKETS ARE IN MILLIMETERS



1 FRONT ELEV.
 3/8" = 1'-0"

MATERIAL KEYNOTE LEGEND

TAG KEYNOTE DESCRIPTION



2 LEFT SIDE ELEV
 3/8" = 1'-0"

ELEVATIONS
20-1254 BARLOCHAN RD
MUSKOKA LAKES, ON
Version 6

STAMP

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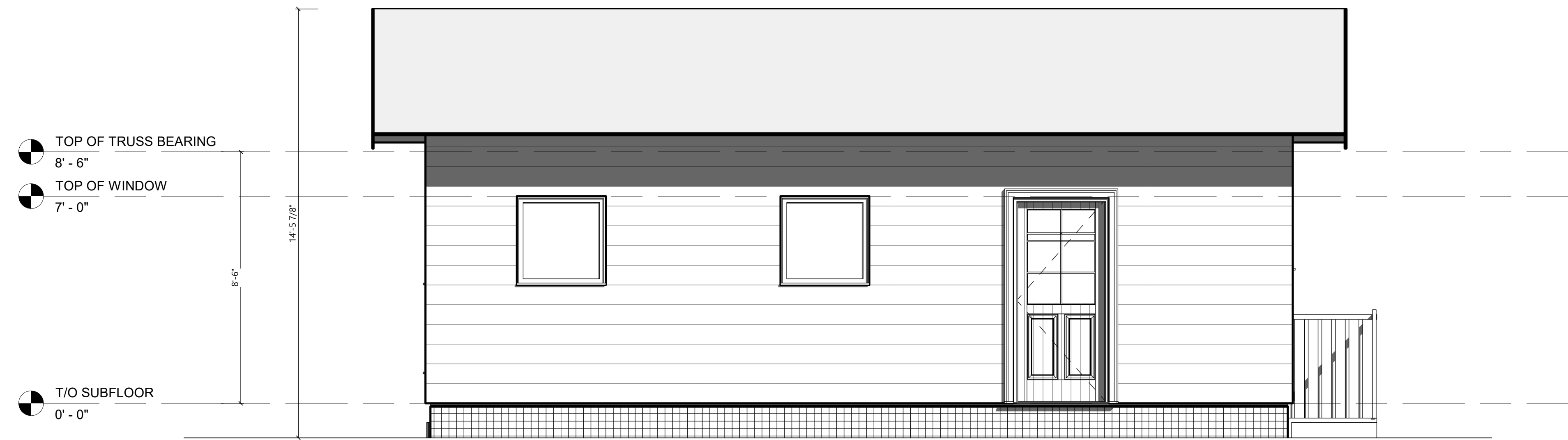
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NOT TO SCALE

A2-1

MATERIAL KEYNOTE LEGEND

TAG KEYNOTE DESCRIPTION



1 REAR ELEV.
3/8" = 1'-0"



2 RIGHT SIDE ELEV.
3/8" = 1'-0"

NOT TO SCALE



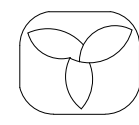
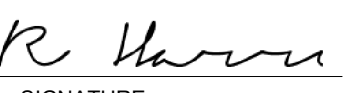
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Qualification Information	
 SIGNATURE	44944 BCIN
RDH design	118062 BCIN
FIRM	

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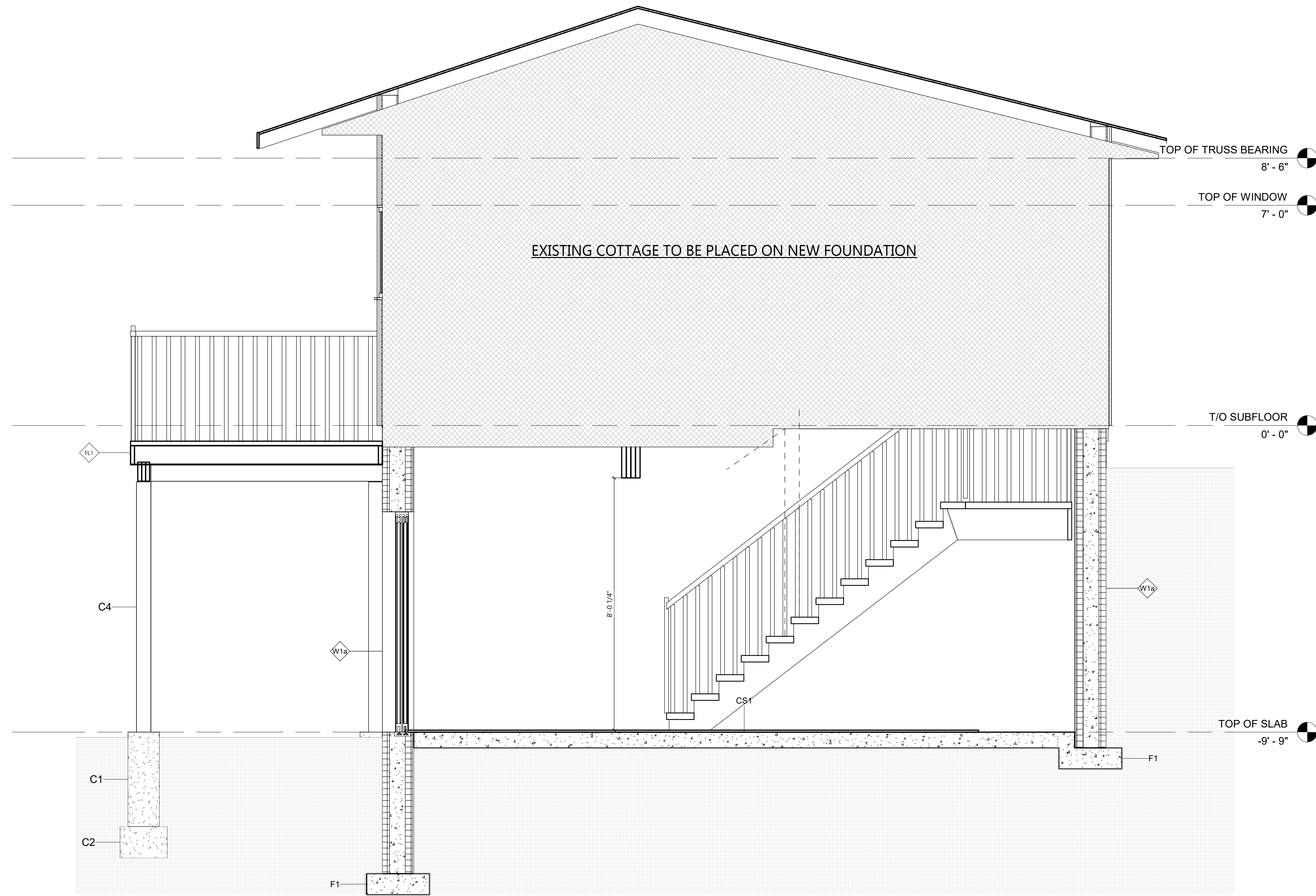
A2-2



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BUILDING SECTION
20-1254 BARLOCHAN RD
MUSKOKA LAKES, ON
Version 6

1 BUILDING SECTION
 1/2" = 1'-0"

FLOOR ASSEMBLIES

- EXTERIOR DRIP THROUGH DECK**
 - 2x6 CEDER OR P.T. DECKING W/ 1/4" SPACING
 - DECK JOIST FLASHING
 - DECK JOIST SEE STRUCTURAL PLAN FOR SIZING AND LAYOUT
- INTERIOR FRAME FLOOR**
 - FLOORING TBD
 - 5/8" T&G PLYWOOD - GLUED AND SCREWED
 - FLOOR FRAMING (REFER TO STRUCTURAL)
 - (OPTIONAL) ROCKWOOL SAFE & SOUND INSULATION
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WALL SCHEDULE

TAG	NAME	Comments
W2a	2x4 Partition Wall	<ul style="list-style-type: none"> • 1/2" GYPSUM WALL BOARD • 2x4 SPF No. 1/No.2 FRAMED WALL @ 16" O.C. • 1/2" GYPSUM WALL BOARD

STRUCTURAL FOOTING SCHEDULE

Tag	Size	Comments	Length	Volume
F1	20" X 8"	<ul style="list-style-type: none"> • MIN 20" x 8" CONTINUOUS • P OURED CONCRETE FOOTING • W/ 2 ROWS OF 10M REBAR 	103' - 0"	136.67 CF
			103' - 0"	136.67 CF

FOUNDATION WALL SCHEDULE

Tag	Width	Comments	Length
W1a	6" ICF 2	<ul style="list-style-type: none"> • DELTA® MS DRAINAGE MEMBRANE LAYER • 6" ICF WALL • ENSURE FULL TAPERTOP FORM FULL COURSE AT TOP (MIN. 25 MPa @ 28 DAYS) • LAPPED INTO STRIP FOOTING BELOW (HOOKED DOWEL TO BE PLACED ALTERNATING BETWEEN EXTERIOR & INTERIOR OF FOOTING) • 1/2" WALL PROTECTION BOARD 	100' - 0"
			100' - 0"

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A4-1