



1 Bailey Street
Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-36/24
Roll No.: 4-19-060

Owner:	Roger Oatley, 50 Yorkville Avenue, Unit #3101, Toronto, ON, M4W 0A3		
Address & Description:	234 Jeanmarie Road, Unit #2 Lot 17, Concession 14, Parts 1 and 2, Plan 35R-7867, (Medora)		
Zoning:	Waterfront Residential (WR4)	Lake Joseph (Category 1 Lake)	Schedule: 20
Hearing Date: Monday, June 10th, 2024 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

The applicant proposes to construct a new single storey detached garage and recognize an as-built over length dock. The requested variances are summarized as follows:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance
A	4.1.3 & 4.1.3.6	Maximum Lot Coverage (Entire Lot)	10% (8,339.5 sq. ft.)	10.6% (8,801 sq. ft.)	461.5 sq. ft.
B	4.1.3.6 & 4.1.3.7	Maximum Lot Coverage (Within 200 Feet of the High Water Mark)	10% (8,300 sq. ft.)	10.6% (8,801 sq. ft.)	501 sq. ft.
C	4.1.7	Maximum Dock Length	66 ft.	69 ft.	3 ft.

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 30th day of May, 2024.

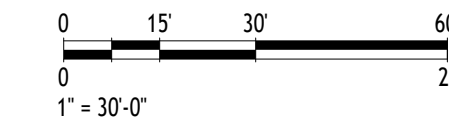
Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



**234 JEAN MARIE ROAD, UNIT 2
PART OF LOT 17 CONCESSION 14
GEOGRAPHIC TOWNSHIP OF MEDORA
TOWNSHIP OF MUSKOKA LAKES**

SITE PLAN

SITE PLAN COMPLETED BASED ON DATA FROM UNDERLYING SURVEY BY CHAPPEL GALBRAITH SURVEYORS LTD. DATED DECEMBER 13, 2023

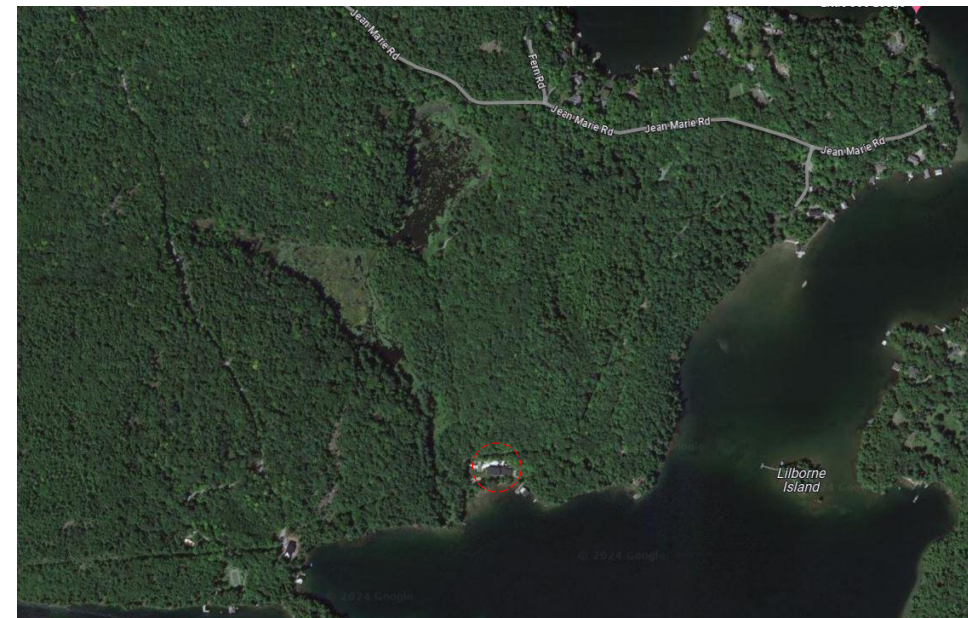
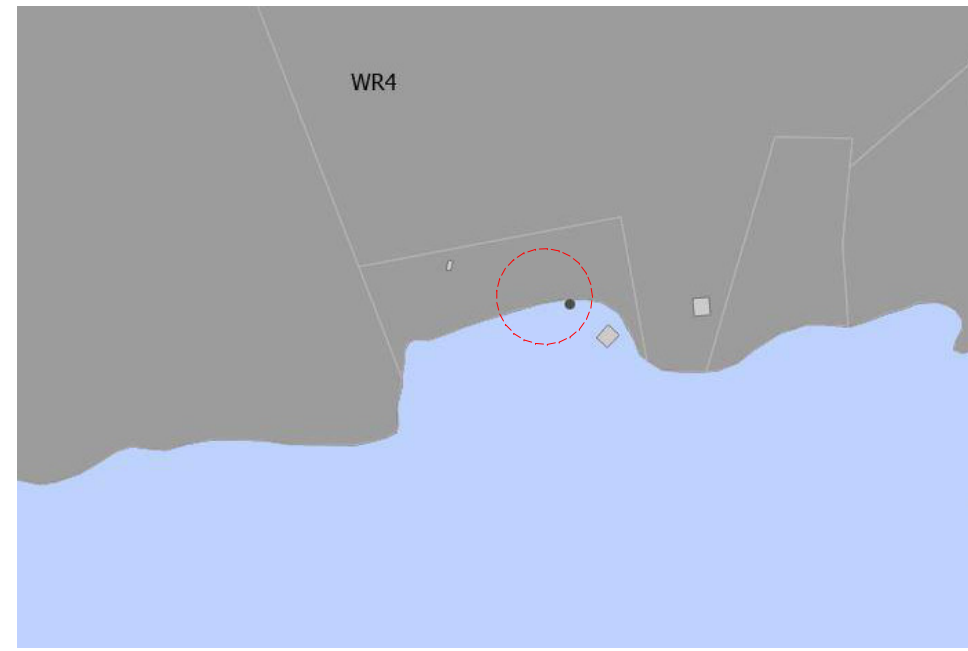
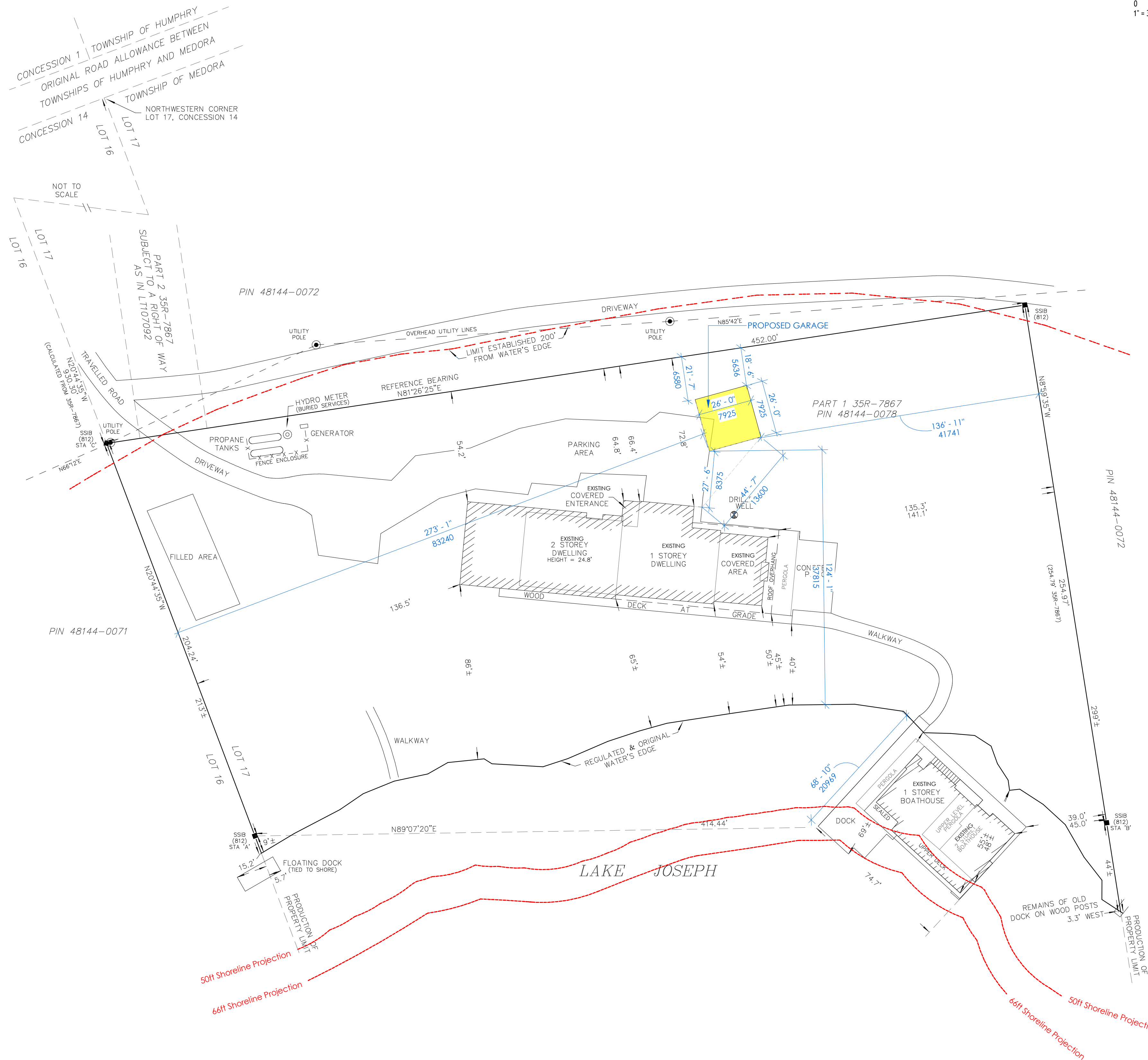


PROPERTY STATISTICS	
Zoning Description	WR4
Total Lot Area	83,395 ft ² (7,748m ²)
Lot Area Within 61m of Waters Edge	83,000 ft ² (7,711m ²)
Straight Line Frontage	419 ft (127.7m)
MAXIMUM LOT COVERAGE (TOTAL LOT)	10%
MAX. LOT COVERAGE (WITHIN 200FT)	10%

AREAS OF EXISTING STRUCTURES		
	SQFT.	SQM.
EXISTING DWELLING & COVERED AREAS	5,911	549.15
EXISTING BOATHOUSE & COVERED AREAS	2,214	205.69
TOTAL AREA OF EXISTING STRUCTURES	8,125	754.84

AREA OF PROPOSED GARAGE		
	SQFT.	SQM.
PROPOSED GARAGE TOTAL AREA	676	62.80
PROPOSED GARAGE AREA WITHIN 200FT	676	62.80

LOT COVERAGE CALCULATIONS	
	%
EXISTING LOT COVERAGE WITHIN 200FT (61M)	9.79
PROPOSED LOT COVERAGE WITHIN 200FT (61M)	10.60
EXISTING LOT COVERAGE TOTAL LOT	9.74
PROPOSED LOT COVERAGE TOTAL LOT	10.55



1 A Site Plan
1" = 30'-0"

NOT TO SCALE

Spencer Douglas

PLANNING ■ DESIGN

No.	Description	Date
1	For Review	February 12 2024
2	Bar Scale Added	February 15 2024
3	Garage Location Revised	February 28 2024
4	Garage Size Revised	April 01 2024
5	Total Lot Coverage Added	April 11 2024
6	66ft & 55ft Setback Lines Added & Dock Dimensions	May 29 2024

SHEET LIST

Design Criteria:

Ground Snow Load (S_s): 3.1kPa
 Associated Rain Load (S_r): 0.4 kPa
 Specified Snow Load: 2.105 kPa
 Base Wind Pressure (q/150): 0.4kPa

Client Name
Oatley

Address
234 Jean Marie Road, Unit 2
Township of Muskoka Lakes

Designer
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATIONS INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code.

xx NAME SIGNATURE BCIN xxxxxx

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the building code.

Spencer Douglas LTD 117413
FIRM NAME FIRM BCIN

Sheet Name
Site Plan & Lot Statistics

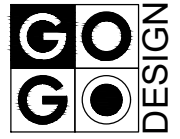
Project Number SD24-0201
 Date 5/29/2024 8:42:02 AM
 Drawn By CM
 Checked By NM

A-002

Scale As indicated

GARAGE FLOOR PLAN

NOT TO SCALE



401 QUEENS QUAY WEST # 305 TORONTO M5V 2Y2
TEL 416 723 4867 gtjanic@gmail.com

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS, INTERIOR DESIGN DRAWINGS & ALL RELEVANT CONSULTANT'S & SPECIALIST'S DRAWINGS OR DOCUMENTS

CONTRACTOR MUST CHECK AND VERIFY ALL JOB DIMENSIONS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

PROJECT ADDRESS :

**234 JEAN MARIE RD
ROSSEAU, ONTARIO**

CONCEPTUAL ARCHITECTURAL DESIGN DRAWING:

**GARAGE / STORAGE
LAYOUT**

SCALE : N.T.S.

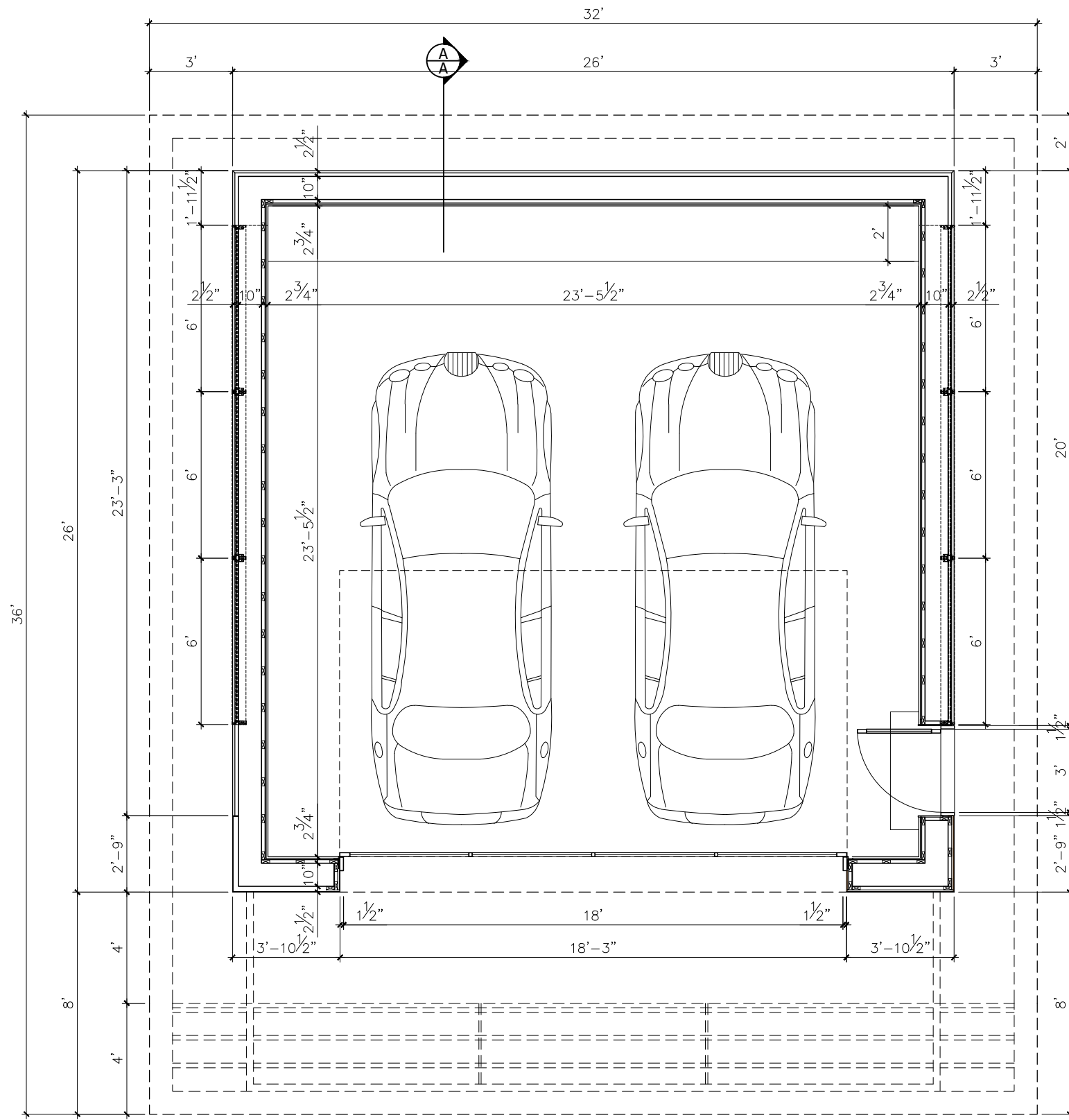
DRAWN BY : GT

CHECKED BY : GT

DATE : APRIL 02, 2024

CROSS REFERENCE:

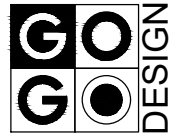
DRAWING NO : AD - 01



FOR INFORMATIONAL PURPOSES ONLY

GARAGE ELEVATION DRAWINGS

NOT TO SCALE



401 QUEENS QUAY WEST # 305 TORONTO M5V 2Y2
TEL 416 723 4867 gtjanic@gmail.com

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PROJECT ADDRESS :

234 JEAN MARIE RD
ROSSEAU, ONTARIO

CONCEPTUAL ARCHITECTURAL DESIGN DRAWING:

GARAGE / STORAGE
FRONT ELEVATION

SCALE : N.T.S.

DRAWN BY : GT

CHECKED BY : GT

DATE : APRIL 02, 2024

CROSS REFERENCE:

DRAWING NO : AD - 03



FOR INFORMATIONAL PURPOSES ONLY