



1 Bailey Street  
Port Carling, ON P0B 1J0

E: [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) P: 705-765-3156 F: 705-765-6755

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

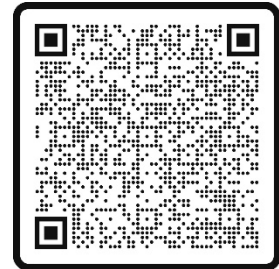
THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: A-34/24**  
**Roll No.: 6-18-112**

|  |  |                                |              |
|--|--|--------------------------------|--------------|
| <b>Owners:</b>   | Jennifer Overend, 1246 Dudley Road, Unit #21, P.O. Box 156, Bala, ON, P0C 1A0                              |                                |              |
| <b>Address &amp; Description:</b>                      | 1246 Dudley Road, Unit #21<br>Lot 16, Concession C, Lot 4, Plan M29, Parts 15 and 16, Plan BR-139 (Medora) |                                |              |
| <b>Zoning:</b>   | Waterfront Residential (WR6 and WR6-R)   | Lake Muskoka (Category 1 Lake) | Schedule: 41 |
| <b>Hearing Date: Monday, July 8, 2024 at 9:00 a.m.</b> |  |                                |              |

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



### Explanation of the Purpose and Effect:

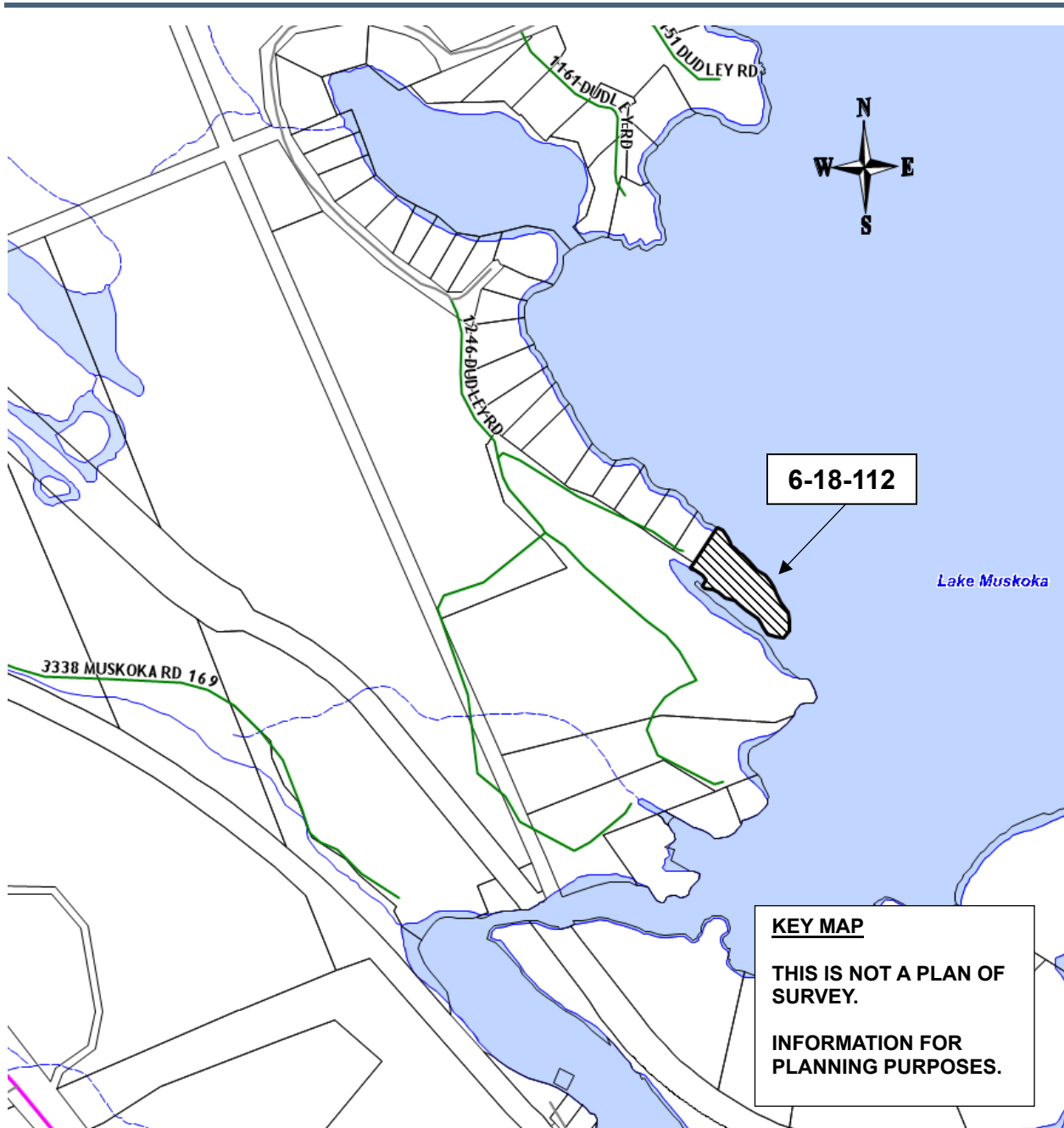
The applicant proposes to remove an existing sleeping cabin and tool shed and to construct a new sleeping cabin.

| Variance | ZBL 2014-14 Section(s) | Description                | Permitted | Proposed | Variance |
|----------|------------------------|----------------------------|-----------|----------|----------|
| A        | 4.1.3.5                | Minimum Front Yard Setback | 50 ft.    | 23 ft.   | 27 ft.   |

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



## KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**



## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes  
this 27<sup>th</sup> day of June, 2024.

Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)



North

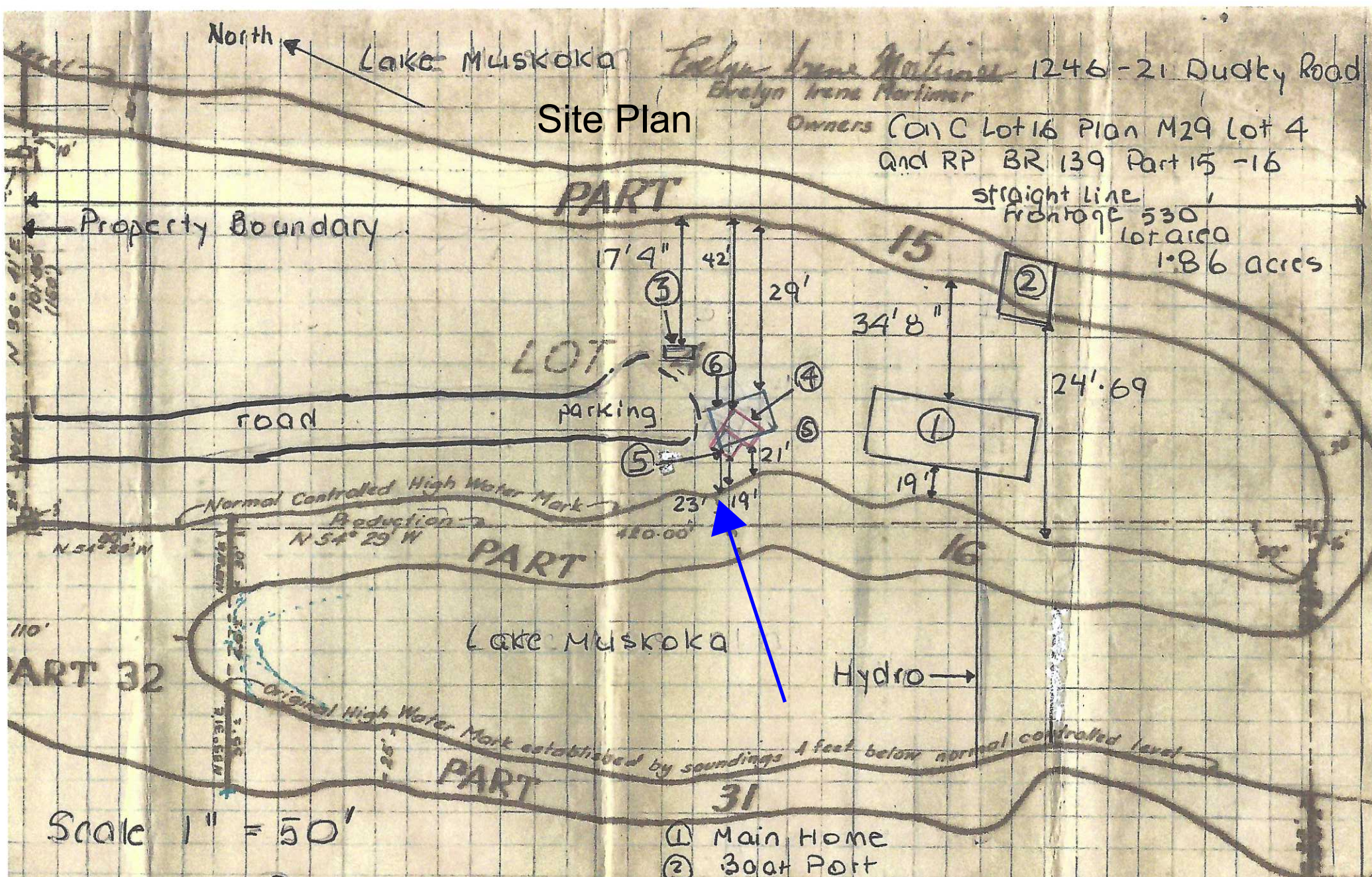
Lake Muskoka

*Evelyn Irene Mortimer* 1246-21 Ducky Road  
*Evelyn Irene Mortimer*

# Site Plan

Owners (O) C Lot 16 Plan M29 Lot 4  
and RP BR 139 Part 15-16

straight line  
frontage 530'  
lot area  
1.86 acres



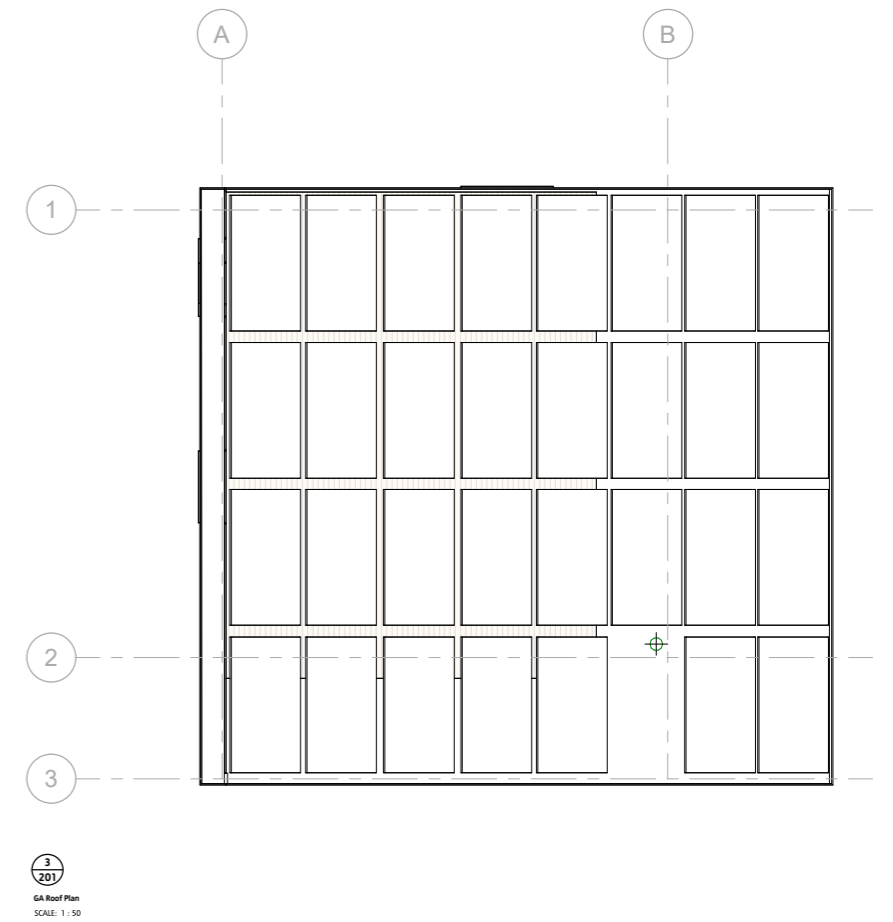
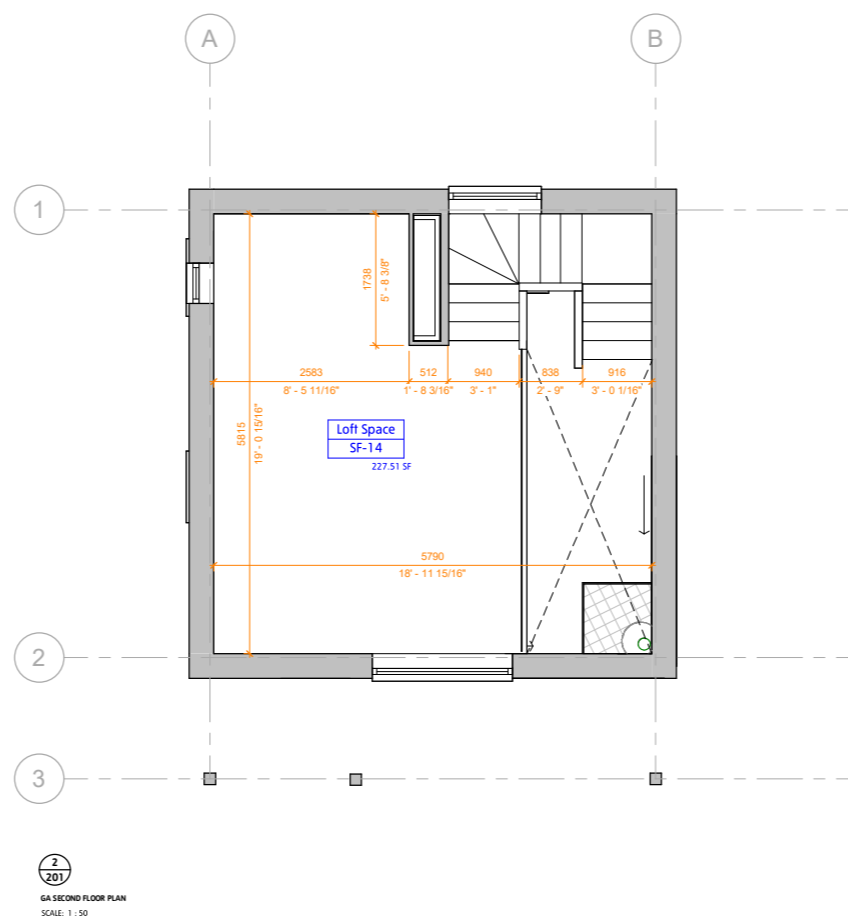
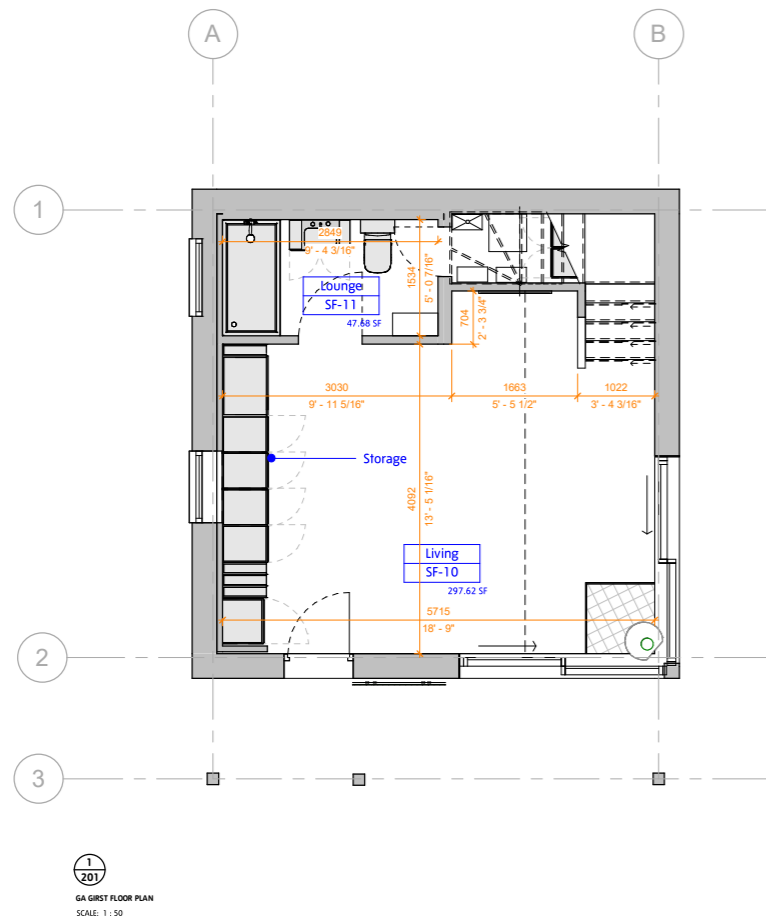
Scale 1" = 50'

R-PLAN (5) = septic tanks

NOT TO SCALE

- ① Main Home
- ② Boat Port
- ③ wood Shed
- ④ A Flame > outlined in red. to be removed.
- ⑤ Tool Shed >
- ⑥ Proposed Steeping Cabin outlined in blue

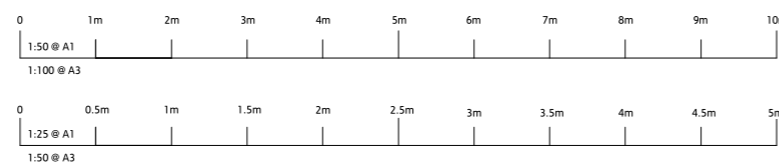
# Floor Plans



NOT TO SCALE

FOR INFORMATIONAL PURPOSES

|  |                                       |                              |                  |
|--|---------------------------------------|------------------------------|------------------|
|  | Project: CABN CO. SON.DER Bespoke     |                              |                  |
|  | Client: CABN                          | No: 148-C-201                | Rev: C           |
|  | Title: Proposed Floor & Roof Plans    | Scale: 1:50@ A1              |                  |
|  | Status: FOR DISCUSSION & TESTING ONLY | Date: MAY 2024               |                  |
|  | www.seanpaynearchdesign.com           | info@seanpaynearchdesign.com | +44 (0)704601706 |



- Notes:
- Do not scale, use figured dimensions only.
  - Contractor / fabricator to check dimensions on site prior to any off site manufacturing.
  - Dimensions are in millimetres unless stated otherwise.
  - Report all discrepancies, conflicts or errors to architect prior to proceeding.
  - Refer to structural engineers design for all load bearing elements, bracing, movement joints and below ground drainage.
  - Refer to mechanical and electrical engineers design for all building services.
  - All works to comply with relevant British Standards and Building Regulations.
  - This drawing and design is the property of Sean Payne Arch & Design Limited and is issued under license to the named recipient only. All copyright law protecting design, artistic & literary work contained within this drawing remains.

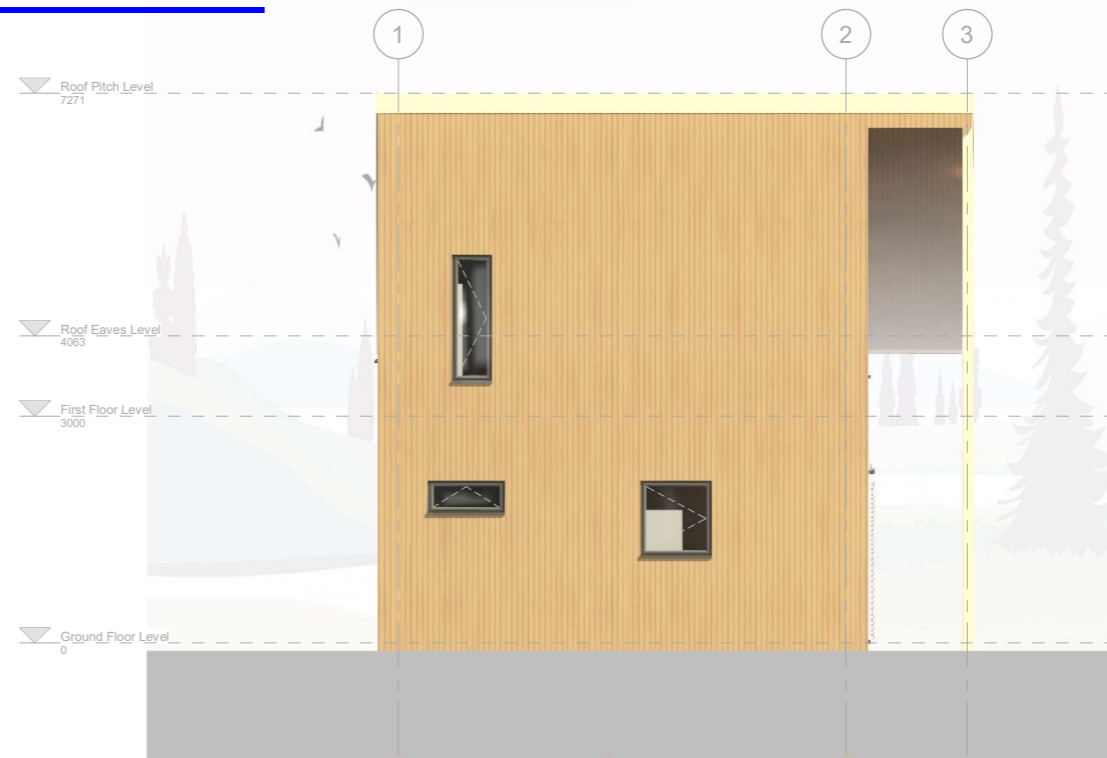
- How to read this drawing:
- Demolitions shown in red
  - Grey fill represent existing buildings, hatched fill represents proposed buildings
  - For all tags, refer to CON-500\_Schedules page
  - For Building regulation notes refer to CON-500\_schedules page
  - For services (incl. plumbing and electricals) see the 'services' and 'small power' drawings
- WARNING** Drawings awaiting Building Control approval  
Drawings awaiting Structural Engineers Design

| Rev. | Description               | Date       |
|------|---------------------------|------------|
| A    | Initial Issue             | 2024-05-27 |
| B    | Internal Dimensions Added | 2024-06-02 |
| C    | Dimensions Added          | 2024-06-03 |
|      |                           |            |
|      |                           |            |
|      |                           |            |
|      |                           |            |

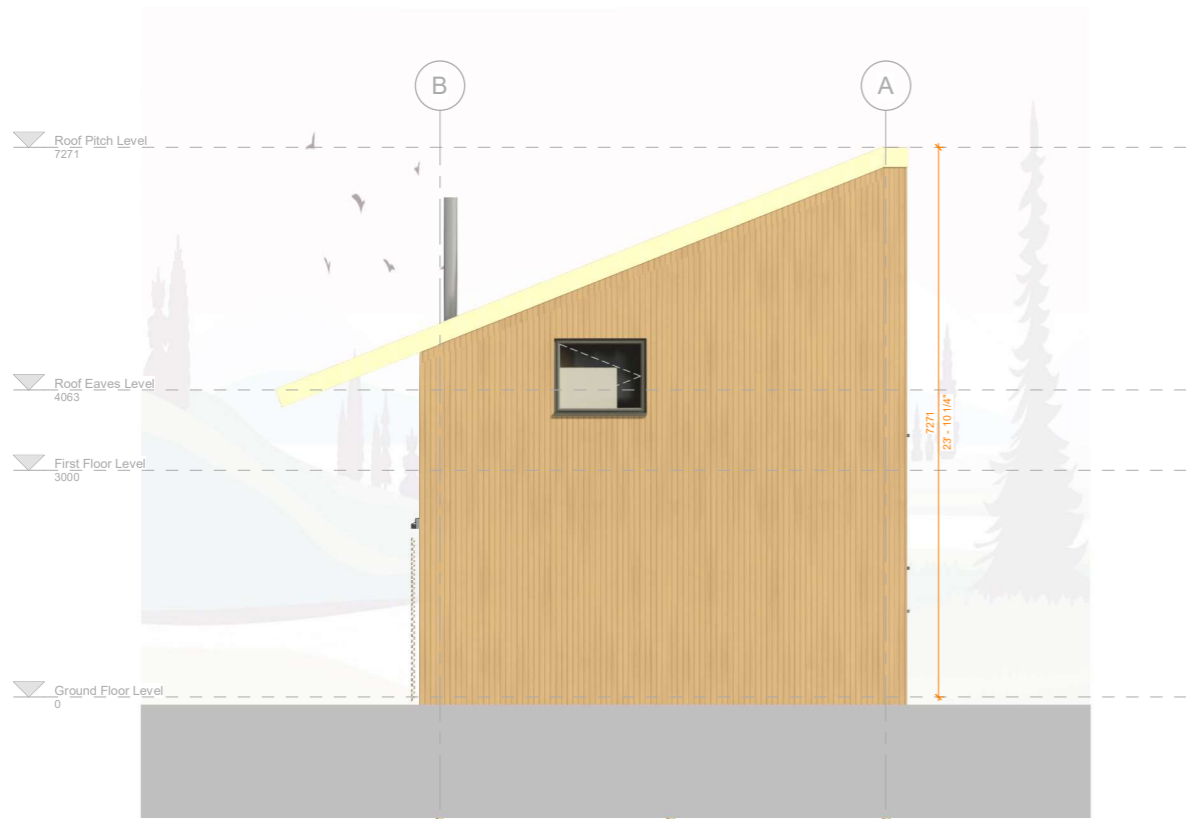
# Drawings & Elevations



1  
230  
GA NORTH ELEVATION  
SCALE: 1 : 50



2  
230  
GA EAST ELEVATION  
SCALE: 1 : 50



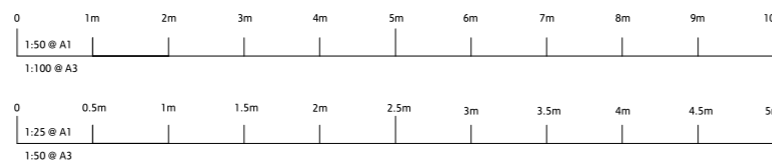
3  
230  
GA SOUTH ELEVATION  
SCALE: 1 : 50



4  
230  
GA WEST ELEVATION  
SCALE: 1 : 50

FOR INFORMATIONAL PURPOSES ONLY

|  |                                       |                              |                  |
|--|---------------------------------------|------------------------------|------------------|
|  | Project: CABN CO. SON.DER Bespoke     |                              |                  |
|  | Client: CABN                          | No: 148-C- 230               | Rev: C           |
|  | Title: Proposed Elevation             | Scale: 1 : 50@ A1            |                  |
|  | Status: FOR DISCUSSION & TESTING ONLY | Date: MAY 2024               |                  |
|  | www.seanpaynearchdesign.com           | info@seanpaynearchdesign.com | +44 (0)704601706 |



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